

SITE LOCATION PLAN 1:200

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1  
 - ALL TIMBER TO COMPLY WITH NZS3602  
 - ALL MASONRY TO COMPLY WITH NZS4109 & NZS4104  
 - ALL MASONRY WORK TO COMPLY WITH NZS4110 & NZS4228  
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH NZS3604  
 - ALL FACTURERS TO BE FIXED IN ACCORDANCE WITH NZS3604  
 - CHECK WITH DESIGNER IF IN ANY DOUBT  
 P: 07 845 3074 E: KRIS@DESIGNHOUSE.CO.NZ

**DESIGN HOUSE**  
 ARCHITECTURE

KINGSLEY DUPLEXES 2  
 11 KINGSLEY STREET,  
 HAMILTON  
THESE PLANS & DESIGNS ARE COPYRIGHT & REMAIN THE PROPERTY OF DESIGN HOUSE ARCHITECTURE. ANY REUSE OR REPRODUCTION OF THESE PLANS WITHOUT WRITTEN CONSENT FROM DESIGN HOUSE IS STRICTLY FORBIDDEN.

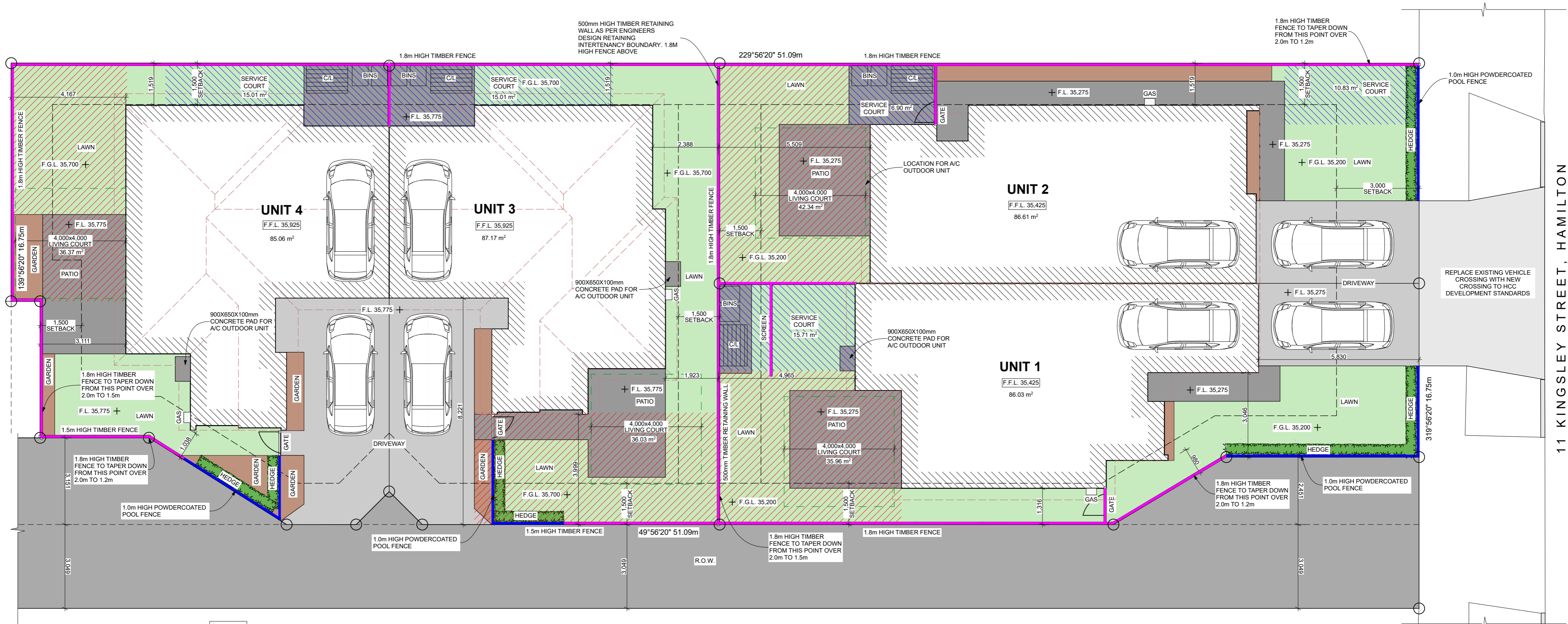
A101	ISSUED: 21/04/2021
REV SHEET	DRAWN BY: JM
TITLE: SITE LOCATION PLAN	
PROJECT STATUS: LAND USE CONSENT	

UNIT 4	
FLOOR AREA	83.7m <sup>2</sup>
SITE AREA	200.49m <sup>2</sup>
SITE COVERAGE	85.0m <sup>2</sup> or 42.3%
PERMEABLE AREA	69.7m <sup>2</sup> OR 34.7%

UNIT 3	
FLOOR AREA	85.8m <sup>2</sup>
SITE AREA	200.39m <sup>2</sup>
SITE COVERAGE	87.1m <sup>2</sup> or 43.4%
PERMEABLE AREA	64.5m <sup>2</sup> OR 32.1%

UNIT 2	
FLOOR AREA	85.3m <sup>2</sup>
SITE AREA	203.09m <sup>2</sup>
SITE COVERAGE	86.6m <sup>2</sup> or 42.6%
PERMEABLE AREA	64.9m <sup>2</sup> OR 31.9%
FRONT YARD AREA	23.9m <sup>2</sup>
FRONT YARD PERMEABLE AREA	14.9m <sup>2</sup> OR 62.3%

UNIT 1	
FLOOR AREA	84.5m <sup>2</sup>
SITE AREA	200.35m <sup>2</sup>
SITE COVERAGE	86.0m <sup>2</sup> or 42.9%
PERMEABLE AREA	73.3m <sup>2</sup> OR 36.5%
FRONT YARD AREA	18.9m <sup>2</sup>
FRONT YARD PERMEABLE AREA	9.9m <sup>2</sup> OR 52.3%



**SITE KEY**

- = 1.8m HIGH TIMBER FENCE TYPICALLY (OR UNLESS OTHERWISE NOTED) - 1.2m WHERE TAPERED DOWN AS NOTED. 100X100 H4 POSTS & 2m CRS MAX IN 250dia X 800mm DEEP 20MPA CONCRETE FOOTINGS. 100X50 H3.2 RAILS X 3 WITH HDG BATTEN SCREW TO POSTS. 150X25 H3.2 PAILINGS WITH 5mm MAX GAPS.
- = POWDERCOATED ALUMINIUM VERTICAL FENCE INSTALLED TO MANUFACTURERS RECOMMENDATIONS. HEIGHT NOTED ON PLANS. TOP MOUNT TO CONCRETE / TIMBER. SEE BOUNDARYLINE DURAPANEL TITAN DETAILS & PS1 IN SPEC.
- = DRIVEWAY. FIRTH MANORFIELD 125mm THICK 20MPA CONCRETE WITH 685 MESH. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING & TOWARDS CATCHPIT WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- = PATHS, PATIOS & A/C CONCRETE PADS. FIRTH MANORFIELD 100mm THICK 20MPA CONCRETE. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- = GARDEN AREAS AS INDICATED - BLACK RE-HARVEST MULCH. PLANTING A MIX OF LOMANDRA LIME TUFFED, PB8, 0.7m SPACINGS. LIBERTIA, PB8, 0.4m SPACINGS. COPROSMIA HAWERA, PB8, 1m SPACINGS. LOROPETALUM "CHINA PINK", PB8, 1.2m SPACINGS.
- = LAWN OVER 100mm MIN OF TOPSOIL
- = GRISELINIA HEDGE, 0.9m SPACINGS, PB8, 0.6m HIGH PLANTED, 1.5m HIGH MATURE
- = LIVING COURT
- = SERVICE COURT



**SITE PLAN**

1:100

LOT: 6 DP: 6763  
 11 KINGSLEY STREET, HAMILTON  
 GROSS SITE AREA: 857m<sup>2</sup>  
 NETT SITE AREA: 978m<sup>2</sup>  
 TOTAL SITE COVERAGE 352.8m<sup>2</sup> or 36.0% (OF NETT SITE AREA)  
 TOTAL PERMEABLE AREA 262.4m<sup>2</sup> OR 26.8%  
 (INCLUDES SHARED DRIVEWAY WITHIN NETT SITE AREA - 31.4% PERMEABILITY AVERAGED ACROSS THE 4 LOTS ONLY IF SHARED DRIVEWAY EXCLUDED)

**GENERAL NOTES**

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

**BUILDING REGULATION REQUIREMENTS**

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1  
 - ALL TIMBER TO COMPLY WITH NZS3602  
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124  
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229  
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS  
 - CHECK ALL DIMENSIONS ON SITE  
 - CHECK WITH DESIGNER IF IN ANY DOUBT  
 P: 07 849 3074 E: KRIS@DESIGNHOUSE.CO.NZ



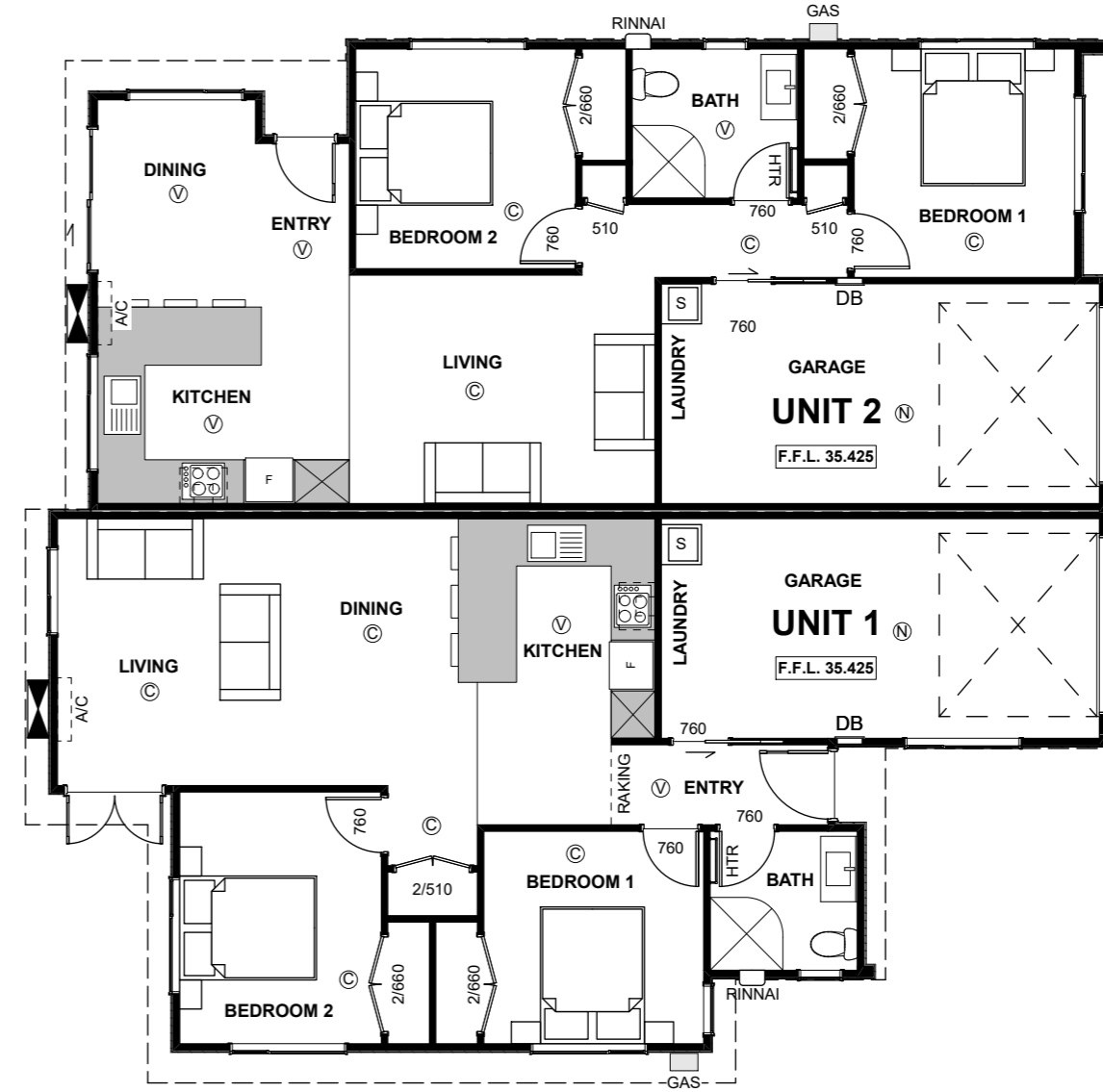
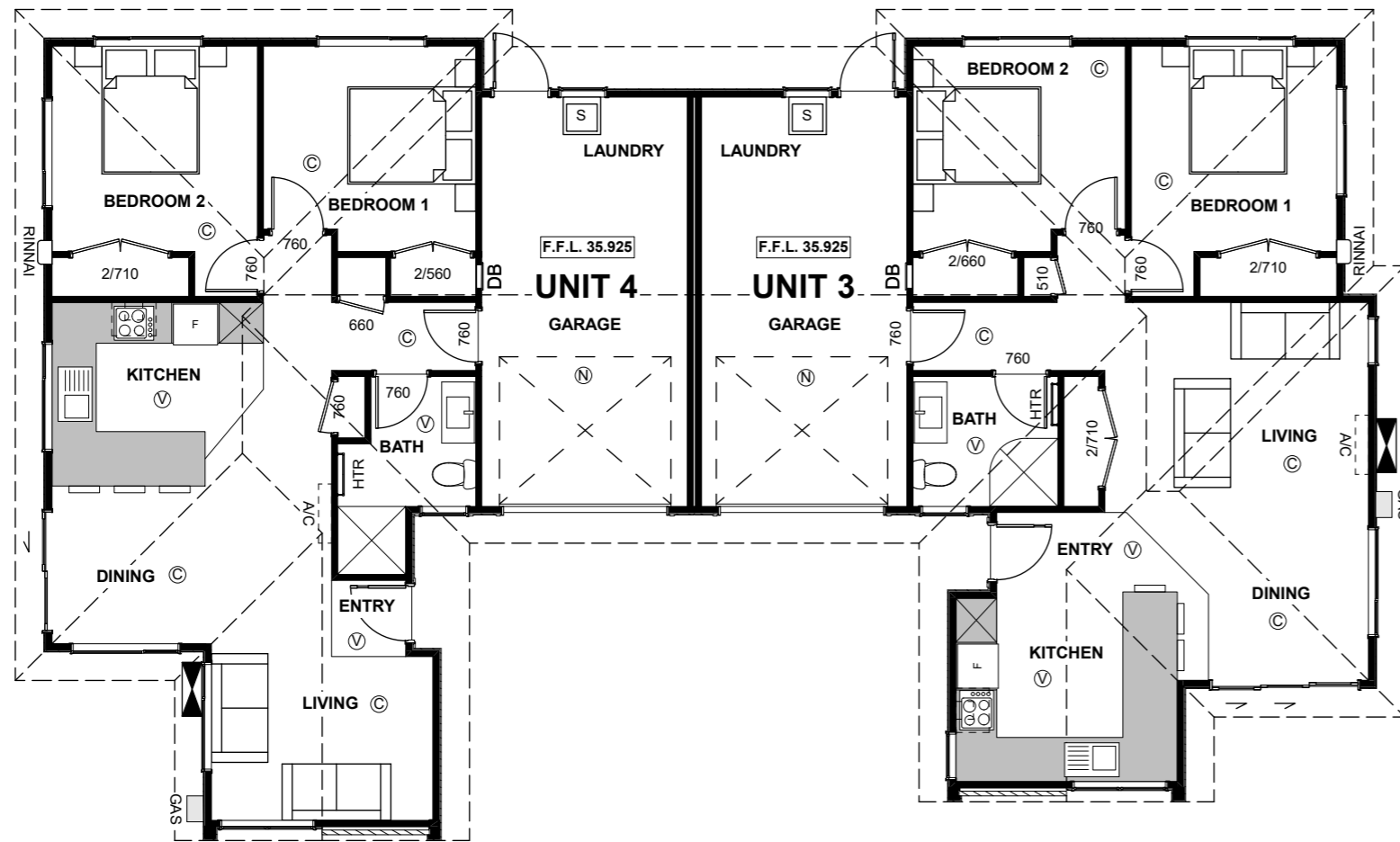
KINGSLEY DUPLEX'S 2  
 11 KINGSLEY STREET,  
 HAMILTON

THESE PLANS & DESIGNS ARE COPYRIGHT & REMAIN THE PROPERTY OF DESIGN HOUSE ARCHITECTURE LTD. THEY SHOULD NOT BE COPIED IN ANY FORM OR PASSED ON TO ANY THIRD PARTY WITHOUT WRITTEN CONSENT.

REV	SHEET	A102	ISSUED:	21/04/2021
			DRAWN BY:	JM
TITLE:		SITE PLAN		
PROJECT STATUS:		LAND USE CONSENT		

11 KINGSLEY STREET, HAMILTON

REPLACE EXISTING VEHICLE CROSSING WITH NEW CROSSING TO HCC DEVELOPMENT STANDARDS



**FLOOR PLANS 1:100**

UNIT 1 FLOOR AREA	84.5m <sup>2</sup>
UNIT 2 FLOOR AREA	85.3m <sup>2</sup>
UNIT 3 FLOOR AREA	85.8m <sup>2</sup>
UNIT 4 FLOOR AREA	83.7m <sup>2</sup>
<b>TOTAL GROSS FLOOR AREA</b>	<b>339.3m<sup>2</sup></b>

**GENERAL NOTES**

ALL TIMBER TO BE SG8

EXTERNAL WALLS UP TO 2.7m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 600 CRS

EXTERNAL WALLS UP TO 3.0m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 400 CRS

EXTERNAL WALLS UP TO 3.6m HIGH TO BE 290X45 TIMBER FRAMING WITH STUDS @ 400 CRS

EXTERNAL WALLS UP TO 4.0m HIGH TO BE 290X45 TIMBER FRAMING WITH STUDS @ 300 CRS

N.B. ALL STUDS SUPPORTING CEDAR CLADDING TO BE @ 400 CRS MAX

ALL NOGGS TO BE @ 800 CRS MAX LESS VERTICAL CEDAR CLAD WALLS TO BE NOGGED @ 480 CRS MAX

FOR STUD SPACINGS GREATER THAN 450mm ALLOW FOR HORIZONTAL POLYPROPYLENE STRAPS @ 300 CRS MAX DRAWN TAUT AS PER E2/AS1

ALL TIMBER FRAMED INTERNAL WALLS TO BE 100X50 TIMBER FRAMING WITH STUDS @ 600 CRS, WITH NOGGS @ 800 CRS MAX

FOR CLARIFICATION OF STUD SIZES SEE DIMENSION PLAN OR CONTACT DESIGNER

ALL INTERNAL DOORS TO BE 2000 HIGH PAINT QUALITY HOLLOW CORE DOORS. ALL INTERNAL DOOR LINTELS TO BE 290X45 LESS DOORS OVER 1.0m WIDE TO BE 2/140X45

ALL INTERIOR DOOR HARDWARE FROM THE WINDSOR FUTURA 'APEX' RANGE INCLUDING PRIVACY LATCHES TO WET ROOMS & DOOR STOPS. 200mm HIGH SATIN CHROME RECESSED HANDLES TO ALL INTERNAL SLIDING DOORS

SEE ELECTRICAL PLAN FOR MECHANICAL VENTILATION OF WET AREAS

60X10 SQUARE EDGE PINE SKIRTING. 60X10 SQUARE EDGE PINE ARCHITRAVE, SQUARE STOP WALL/CEILING JUNCTION THROUGHOUT, FILLED & TAPED IN ACCORDANCE WITH GIB SITE GUIDE & FIRE WALL REQUIREMENTS

WALLS TO BE INSULATED WITH MIN R2.4 WALL BATTS. CEILINGS TO BE INSULATED WITH MIN R3.2 BLANKET INSULATION LESS RAFTERED AREAS TO INSULATED WITH R3.2 SKILLION ROOF INSULATION

ALL INTERNAL WALLS BETWEEN GARAGES & HABITABLE SPACES TO BE INSULATED WITH MIN R2.4 WALL BATTS

SEE SEPARATE WINDOW & DOOR SCHEDULE FROM SHEET A504

CONFIRM SLAB REBATES FOR ALL DOORS FOR LEVEL ENTRY THRESHOLD AS PER FINAL FLOORING SELECTIONS & JOINERY PROFILE. CONFIRM WITH MANUFACTURER

KITCHEN JOINERY UNITS AS PER JOINER

ALLOW TO CONSULT DESIGNER FOR POSITION OF TV AERIAL / SKY DISH

ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE. SEE PC SUM IN SPEC

ALLOW FOR SHELF & RAIL TO ALL BEDROOMS. ALLOW FOR 5 EVENLY SPACED PINE 90X25 SLAT SHELVES INCLUDING ADEQUATE SUPPORT TO ALL STORES & CUPBOARDS

1 MACHINE COAT, 1 SITE COAT OF WOOD X PENETRATING WOOD OIL TO ALL CEDAR. COLOUR DAMPER

SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER TREATMENT

**LININGS**

WALL LININGS TO WET AREAS TO BE 10mm GIB AQUALINE. LEVEL 4 PLASTER FINISH WITH HIGH SHEEN ACRYLIC PAINT SYSTEM

ALL OTHER WALL LININGS TO BE 10mm STANDARD GIB. LEVEL 4 PLASTER FINISH, UNLESS REQUIRED FOR BRACING OR FIRE RATING (REFER BRACING PLAN & FIRE REPORT)

CEILING LININGS TO WET AREAS TO BE 13mm GIB AQUALINE. LEVEL 4 PLASTER FINISH

ALL OTHER CEILING LININGS TO BE 13mm STANDARD GIB. LEVEL 4 PLASTER FINISH

SOFFITS TO BE 4.5mm HARDIEFLEX SOFFIT LINING WITH UPVC JOINTERS

**FLOORING KEY**

- ⊙ = CARPET OVER SELECTED UNDERLAY
- Ⓝ = GARAGE CARPET COMPLETE WITH RUBBER LOW PROFILE BAR @ GARAGE DOOR TO TERMINATE
- Ⓥ = SELECTED VINYL PLANK

**GENERAL KEY**

- DB = DISTRIBUTION BOARD WITH INTEGRATED METERBOX (SMART METER)
- Ⓢ = SMOKE DETECTOR. 10yr PHOTOELECTRIC GS-526 GOLDAIR (OR SIMILAR) - BATTERY OPERATED
- HT = HOSE TAP
- 2690 = HEIGHT TO U/S OF CEILING TO BE 2560 UNLESS OTHERWISE NOTED IN BOX
- RINNAI = RINNAI INFINITY A26 INSTANTANEOUS GAS HOT WATER AS PER MANUFACTURERS WRITTEN INSTRUCTIONS. PLUMB TO KITCHEN, BATHROOM, ENSUITE & LAUNDRY. FIT IN RECESSED BOX INTO WALL FRAMING. CONNECT TO STREET SUPPLY
- HTR = HEATED TOWEL RAIL
- GAS = GAS METER. ALLOW TO CONFIRM LOCATION WITH SUPPLIER PRIOR TO INSTALLATION
- ⊠ = EXTERIOR UNIT FOR INTERNAL HEAT PUMP. ALLOW FOR CONCRETE PAD TO SUIT UNIT
- A/C = HEAT PUMP - HIGH WALL MOUNTED MITSUBISHI HEAVY INDUSTRIES HEAT PUMP OR SIMILAR, SIZED AS PER TENANCY SERVICES 'HEALTHY HOMES HEATING REPORT', WITH CONDENSATE DRAIN PLUMBED TO WASTEWATER OR EXTERIOR OF BUILDING ENVELOPE AS MINIMUM
- S = ROBINHOOD SUPERTUB ST3101
- = GIB GBTL30a INTERTENANCY WALL FROM FLOOR TO CEILING & GIB GBTL30b FIRE RATED WALL ABOVE CEILING IN ROOF SPACE. ALL INSTALLED AS PER GIB WRITTEN SPECIFICATIONS. MAINTAIN 30mm MIN GAP BETWEEN FRAMING
- ⌈ ⌋ = 650X550 CEILING HATCH. ROOF STORAGE TO HAVE UNTREATED 17mm PLYWOOD WITHIN 1m OF OPENING IN ALL DIRECTIONS. NOGG TO SUIT. ROOF SPACE TO HAVE LIGHT & SWITCH

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1

- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
- ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
- ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
- CHECK ALL DIMENSIONS ON SITE
- CHECK WITH DESIGNER IF IN ANY DOUBT
- P: 07 849 3074 E: KRIS@DESIGNHOUSE.CO.NZ

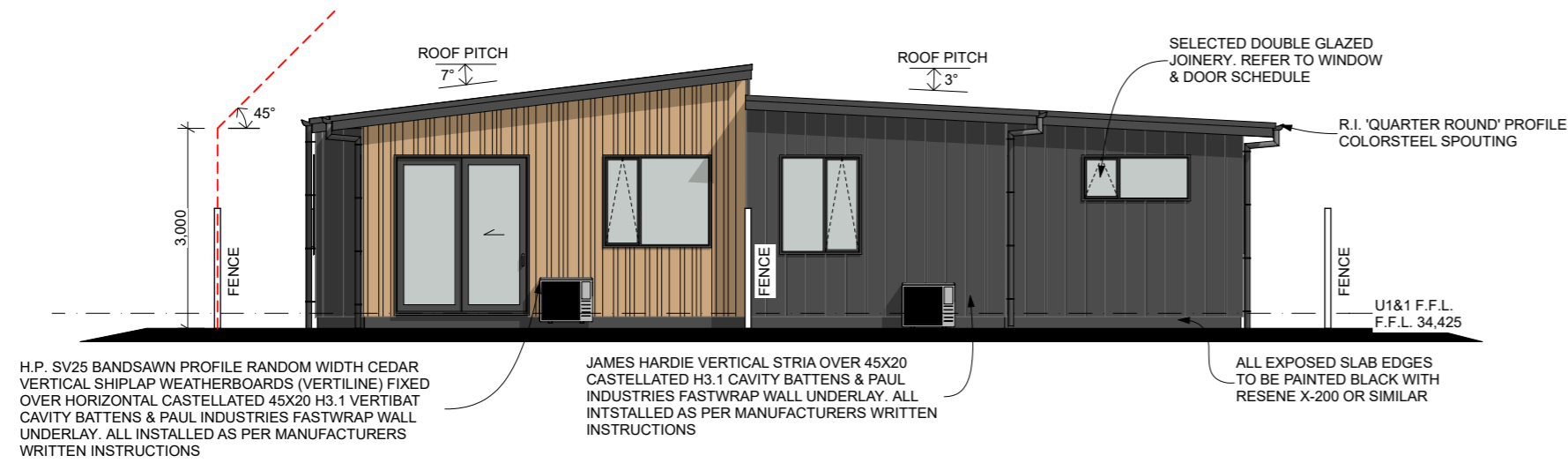


KINGSLEY DUPLEX'S 2

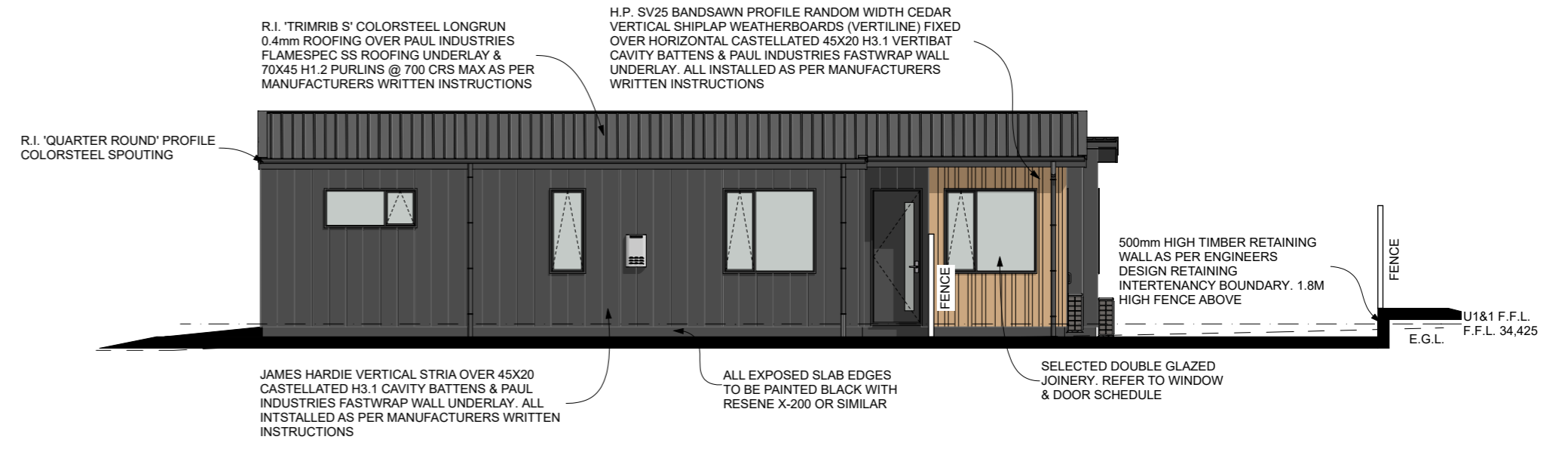
11 KINGSLEY STREET,  
HAMILTON

THESE PLANS & DESIGNS ARE COPYRIGHT & REMAIN THE PROPERTY OF DESIGN HOUSE ARCHITECTURE LTD. THEY SHOULD NOT BE COPIED IN ANY FORM OR PASSED ON TO ANY THIRD PARTY WITHOUT WRITTEN CONSENT

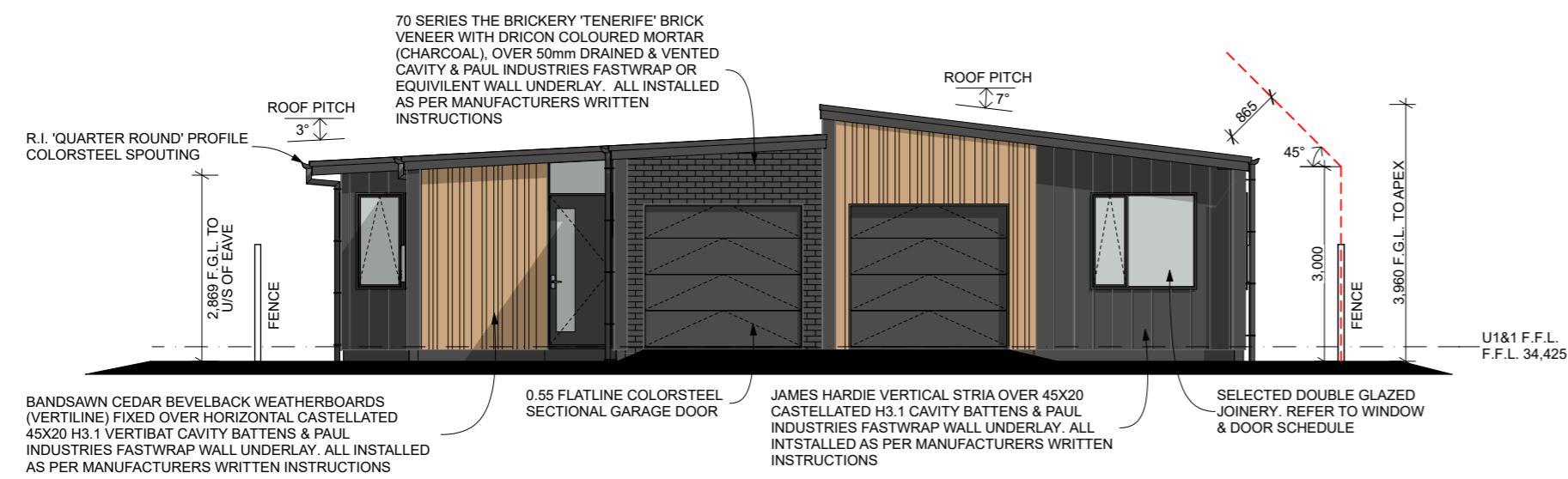
REV SHEET	<b>A105</b>	ISSUED:	21/04/2021
		DRAWN BY:	JM
TITLE:	<b>FLOOR PLANS</b>		
PROJECT STATUS:	<b>LAND USE CONSENT</b>		



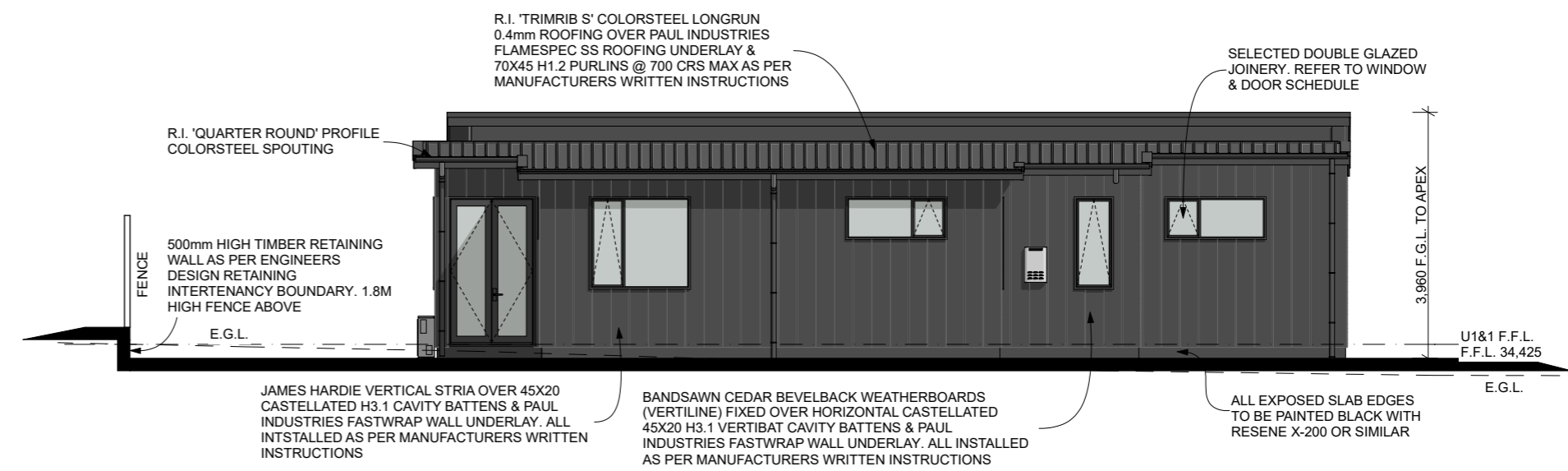
UNITS 1 & 2 NORTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH WEST ELEVATION 1:100



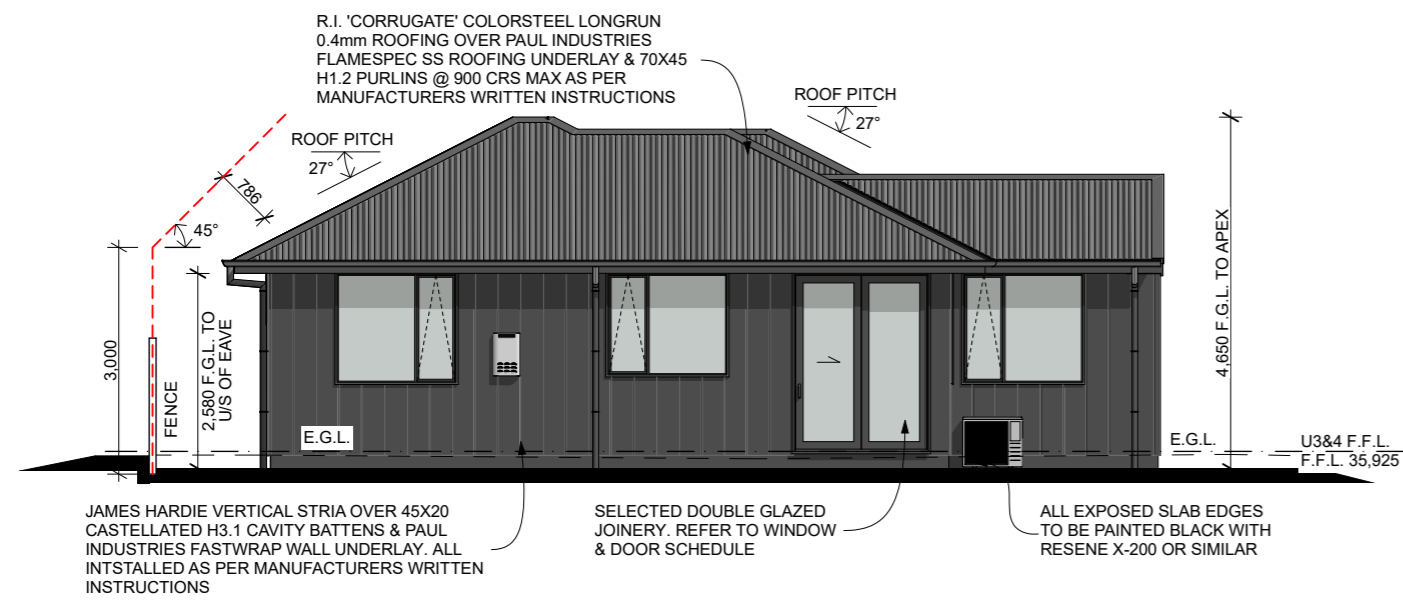
UNITS 1 & 2 NORTH WEST ELEVATION 1:100

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1  
 - ALL TIMBER TO COMPLY WITH NZS3602  
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124  
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229  
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS  
 - CHECK ALL DIMENSIONS ON SITE  
 - CHECK WITH DESIGNER IF IN ANY DOUBT  
 P: 07 849 3074 E: KRIS@DESIGNHOUSE.CO.NZ

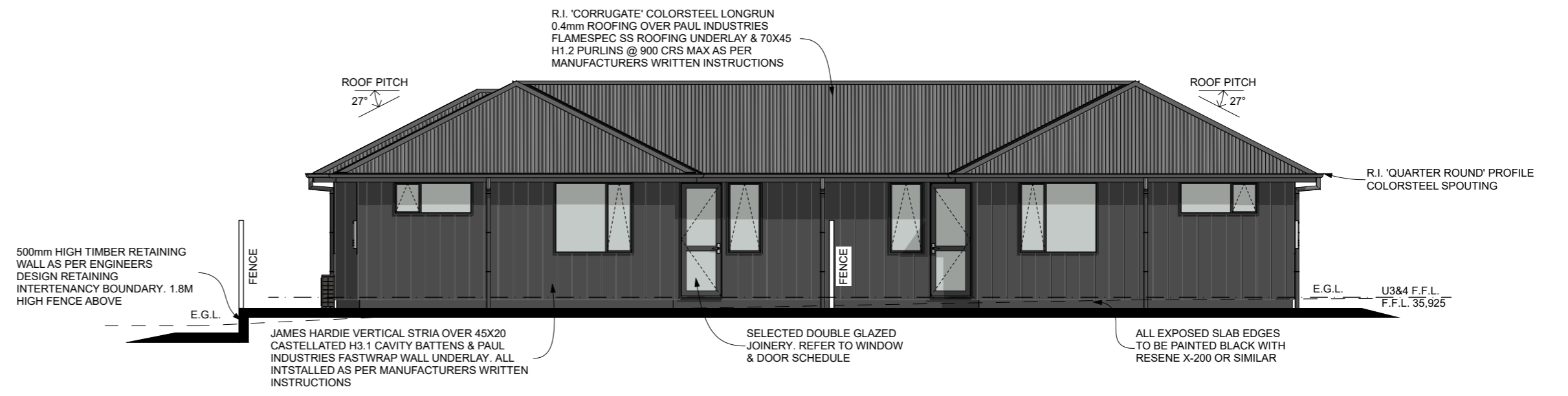


KINGSLEY DUPLEX'S 2  
 11 KINGSLEY STREET,  
 HAMILTON  
THESE PLANS & DESIGNS ARE COPYRIGHT & REMAIN THE PROPERTY OF DESIGN HOUSE ARCHITECTURE LTD. THEY SHOULD NOT BE COPIED IN ANY FORM OR PASSED ON TO ANY THIRD PARTY WITHOUT WRITTEN CONSENT.

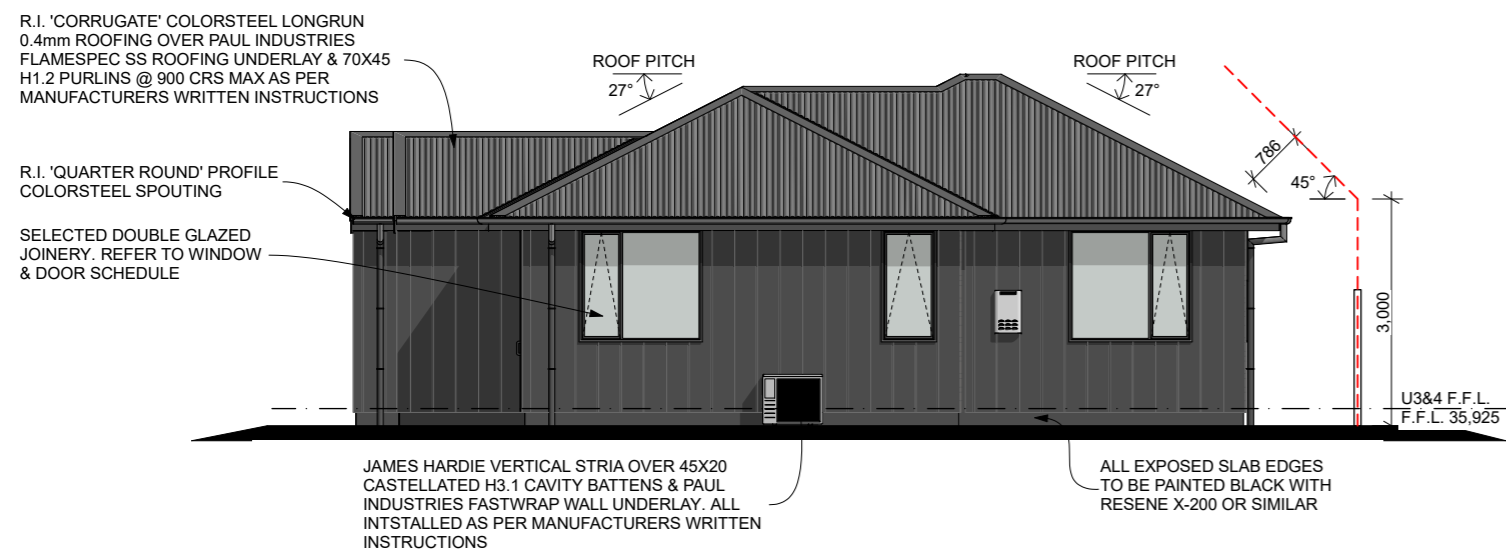
REV SHEET A201 ISSUED: 21/04/2021  
 DRAWN BY: JM  
 TITLE: UNIT 1 & 2 ELEVATIONS  
 PROJECT STATUS: LAND USE CONSENT



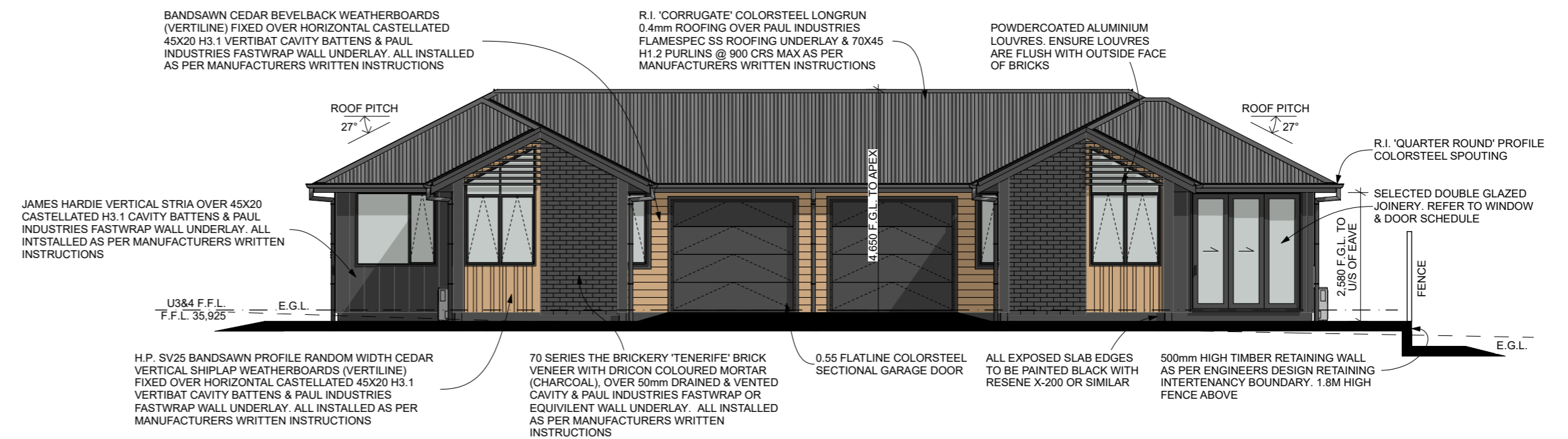
UNITS 3 & 4 NORTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH WEST ELEVATION 1:100



UNITS 3 & 4 NORTH WEST ELEVATION 1:100

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1  
 - ALL TIMBER TO COMPLY WITH NZS3602  
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124  
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229  
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS  
 - CHECK ALL DIMENSIONS ON SITE  
 - CHECK WITH DESIGNER IF IN ANY DOUBT  
 P: 07 849 3074 E: KRIS@DESIGNHOUSE.CO.NZ



KINGSLEY DUPLEX'S 2

11 KINGSLEY STREET,  
HAMILTON

THESE PLANS & DESIGNS ARE COPYRIGHT & REMAIN THE PROPERTY OF DESIGN HOUSE ARCHITECTURE LTD. THEY SHOULD NOT BE COPIED IN ANY FORM OR PASSED ON TO ANY THIRD PARTY WITHOUT WRITTEN CONSENT

REV SHEET A202 ISSUED: 21/04/2021

DRAWN BY: JM

TITLE: UNIT 3 & 4 ELEVATIONS

PROJECT STATUS: LAND USE CONSENT