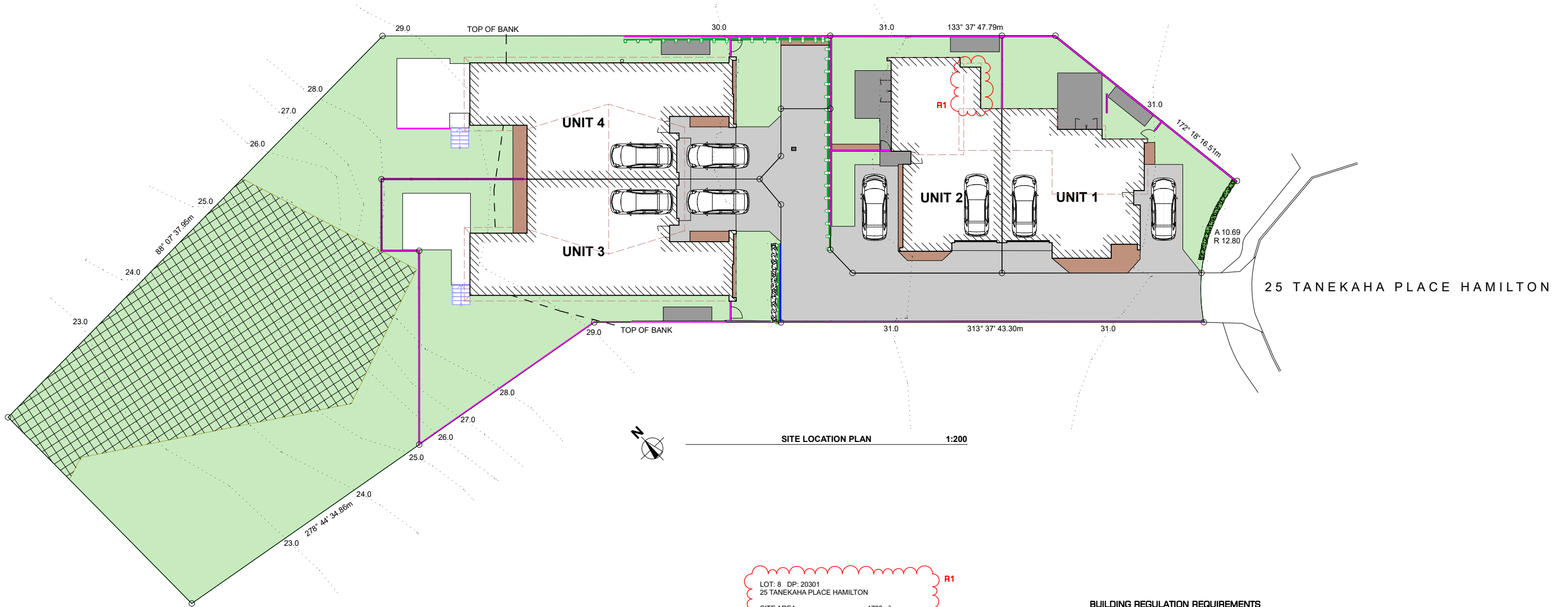


UNIT 4	
FLOOR AREA	118.2m ²
SITE AREA	911m ²
SITE COVERAGE	121.0m ² or 13.28%
PERMEABLE AREA	748.3m ² OR 82.1%

UNIT 3	
FLOOR AREA	118.2m ²
SITE AREA	320m ²
SITE COVERAGE	121.0m ² or 37.8%
PERMEABLE AREA	166.2m ² OR 51.8%

UNIT 2	
FLOOR AREA	90.83m ²
SITE AREA	204.07m ²
SITE COVERAGE	92.73m ² or 45.44%
PERMEABLE AREA	58m ² OR 28.4%

UNIT 1	
FLOOR AREA	86.4m ²
SITE AREA	204.21m ²
SITE COVERAGE	88.1m ² or 43.1%
PERMEABLE AREA	68.5m ² OR 33.5%
FRONT SETBACK AREA	34.5m ²
PERMEABLE SETBACK AREA	17.25m ² OR 50%



LOT: 8 DP: 20301	
25 TANEKAHA PLACE HAMILTON	
SITE AREA:	1789m ²
TOTAL SITE COVERAGE	422.7m ² or 23.6%
TOTAL PERMEABLE AREA	1041m ² OR 58.2%

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES

R1 - 23/09/2021 - ENUSITE ADDED TO UNIT 2. FLOOR AREA ALTERED TO SUIT

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS904 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
- ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
- ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
- CHECK ALL DIMENSIONS ON SITE
- CHECK WITH DESIGNER IF IN ANY DOUBT
- P: 07 848 3074 E: KRIS@DESIGNHOUSE.CO.NZ



TANEKAHA DUPLEX'S
25 TANEKAHA PLACE
HAMILTON

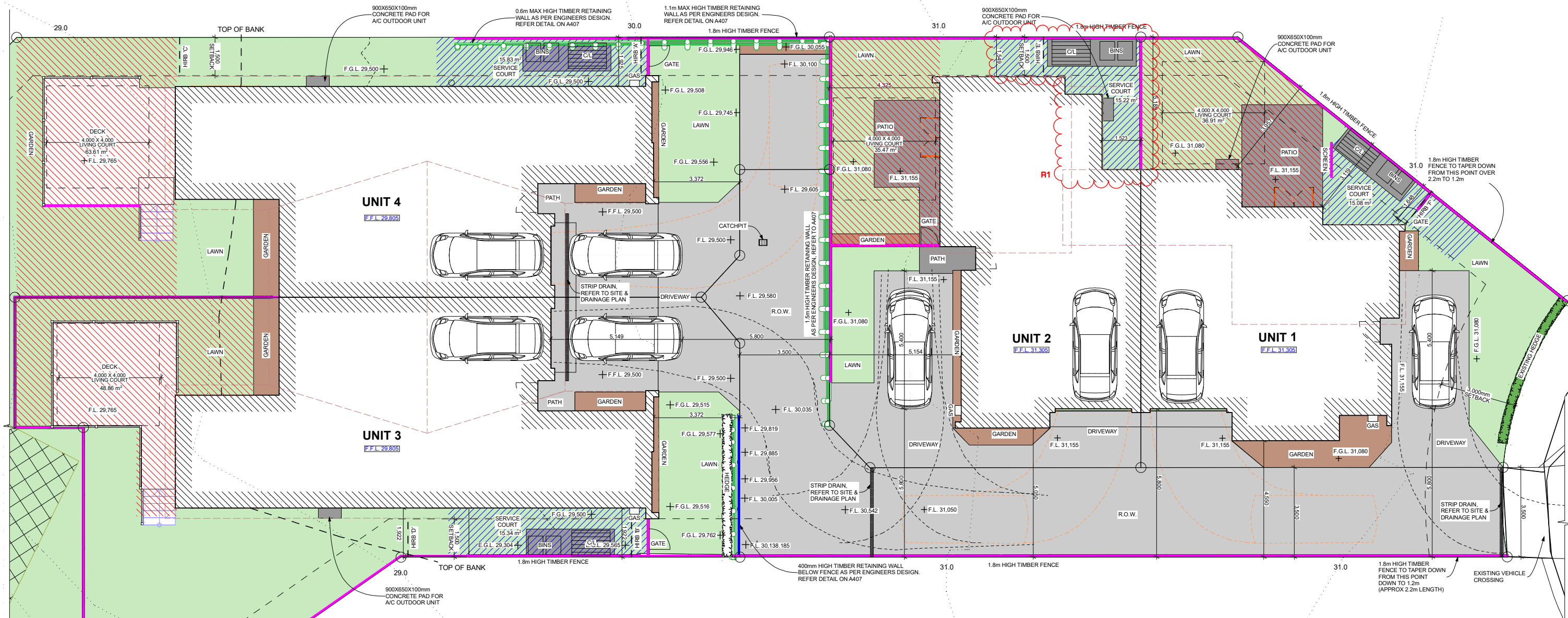
REV	SHEET	A101	ISSUED:	03/08/2021
		R1	DRAWN BY:	DA
TITLE:			SITE LOCATION PLAN	
PROJECT STATUS:			CONSENT	

UNIT 4	
FLOOR AREA	118.2m ²
SITE AREA	904m ²
SITE COVERAGE	124.7m ² or 13.79%
PERMEABLE AREA	757.4m ² OR 83.8%

UNIT 3	
FLOOR AREA	118.2m ²
SITE AREA	327.5m ²
SITE COVERAGE	124.7m ² or 38.1%
PERMEABLE AREA	180.9m ² OR 55.2%

UNIT 2	
FLOOR AREA	90.83m ²
SITE AREA	204.07m ²
SITE COVERAGE	92.73m ² or 45.44%
PERMEABLE AREA	58m ² OR 28.4%

UNIT 1	
FLOOR AREA	86.4m ²
SITE AREA	204.21m ²
SITE COVERAGE	88.1m ² or 43.1%
PERMEABLE AREA	68.5m ² OR 33.5%
FRONT SETBACK AREA	34.5m ²
PERMEABLE SETBACK AREA	17.25m ² OR 50%



SITE PLAN 1:100

LOT: 8 DP: 20301
25 TANAKAHA PLACE HAMILTON

SITE AREA	1789m ²
TOTAL SITE COVERAGE	422.7m ² or 23.6%
TOTAL PERMEABLE AREA	1041m ² OR 58.2%

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

SITE KEY

- 1.8m HIGH TIMBER FENCE TYPICALLY (OR UNLESS OTHERWISE NOTED) - 1.2m WHERE TAPERED DOWN AS NOTED. 100X100 HH POSTS & 2m CRS MAX IN 2500x4 x 800mm DEEP 20MPA CONCRETE FOOTINGS. 100X50 H3.2 RAILS X 3 WITH HDG BATTEN SCREW TO POSTS. 150X25 H3.2 PAILINGS WITH 5mm MAX GAPS.
- POWDERCOATED ALUMINIUM VERTICAL FENCE INSTALLED TO MANUFACTURERS RECOMMENDATIONS. HEIGHT NOTED ON PLANS. TOP MOUNT TO CONCRETE / TIMBER. SEE BOUNDARYLINE DURAPANEL TITAN DETAILS & PS1 IN SPEC.
- PATHS, PATIOS & A/C CONCRETE PADS (41.7m² TOTAL). FIRTH MANORFIELD 100mm THICK 20MPA CONCRETE. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR-10
- DRIVEWAY (289m² TOTAL). FIRTH MANORFIELD 125mm THICK 20MPA CONCRETE WITH 665 MESH. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING & TOWARDS CATCHPIT WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR-10
- GARDEN AREAS AS INDICATED - BLACK RE-HARVEST MULCH. PLANTING A MIX OF LOMANDRA LIME TUFFED, PB8, 0.7m SPACINGS. LIBERTIA, PB8, 0.4m SPACINGS. COPROSMA HAWERA, PB8, 1m SPACINGS. LOROPETALUM "CHINA PINK", PB8, 1.2m SPACINGS.
- LAWN OVER 100mm MIN OF TOPSOIL
- HEDGE = GRISELINIA HEDGE, 0.9m SPACINGS, PB8, 0.6m HIGH PLANTED, 1.5m HIGH MATURE
- LIVING COURT
- SERVICE COURT

R1 - 23/09/2021 - ENSUITE ADDED TO UNIT 2, BUILDING ELEMENTS & SERVICE COURT ALTERED TO SUIT. UPDATED FOR LUC AMENDMENT

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
- ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
- ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
- CHECK ALL DIMENSIONS ON SITE
- CHECK WITH DESIGNER IF IN ANY DOUBT
- P: 07 848 3074 E: KRIS@DESIGNHOUSE.CO.NZ

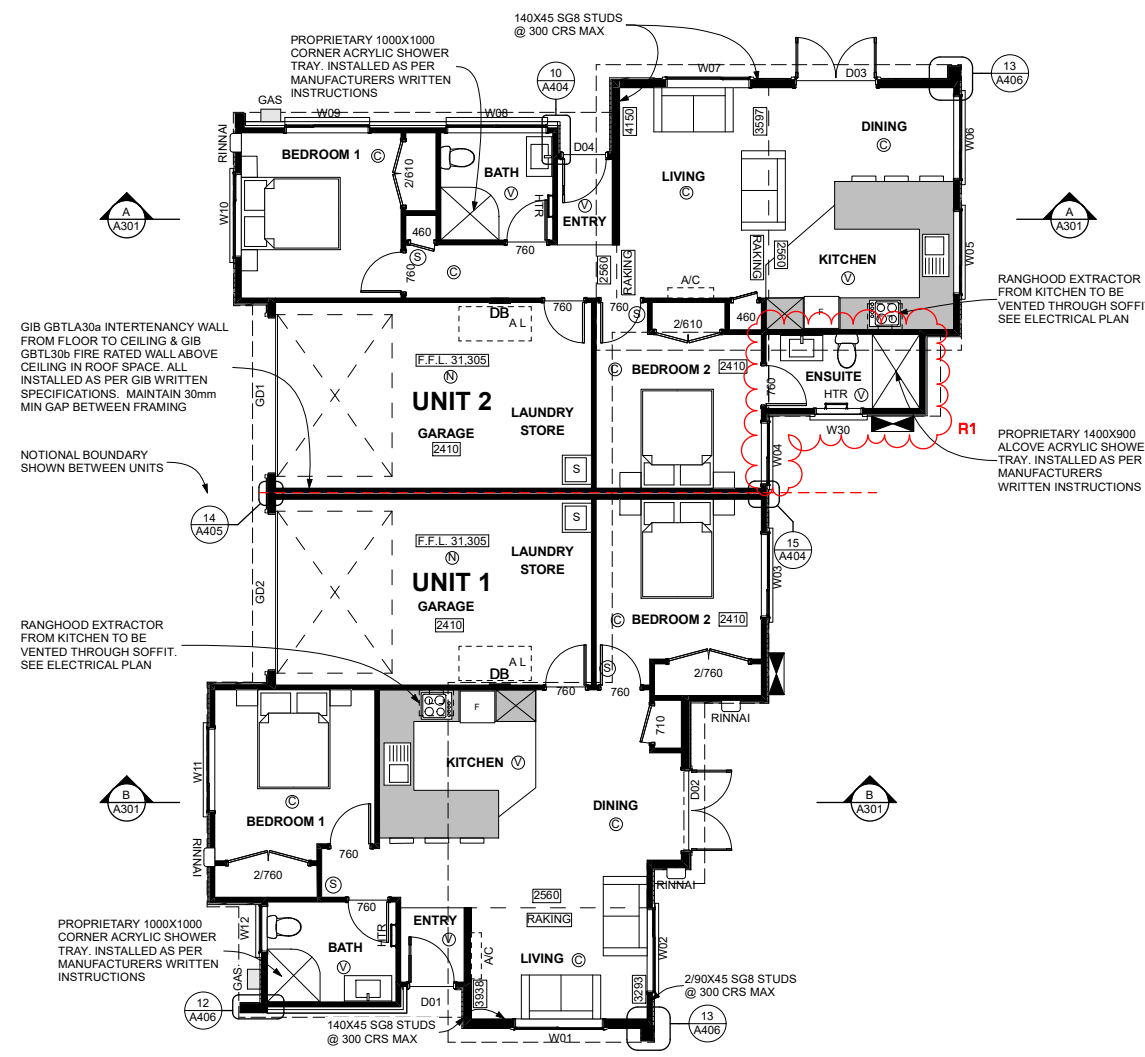


TANAKAHA DUPLEX'S
25 TANAKAHA PLACE
HAMILTON

ISSUED: 03/08/2021
DRAWN BY: DA
PROJECT STATUS: **CONSENT**

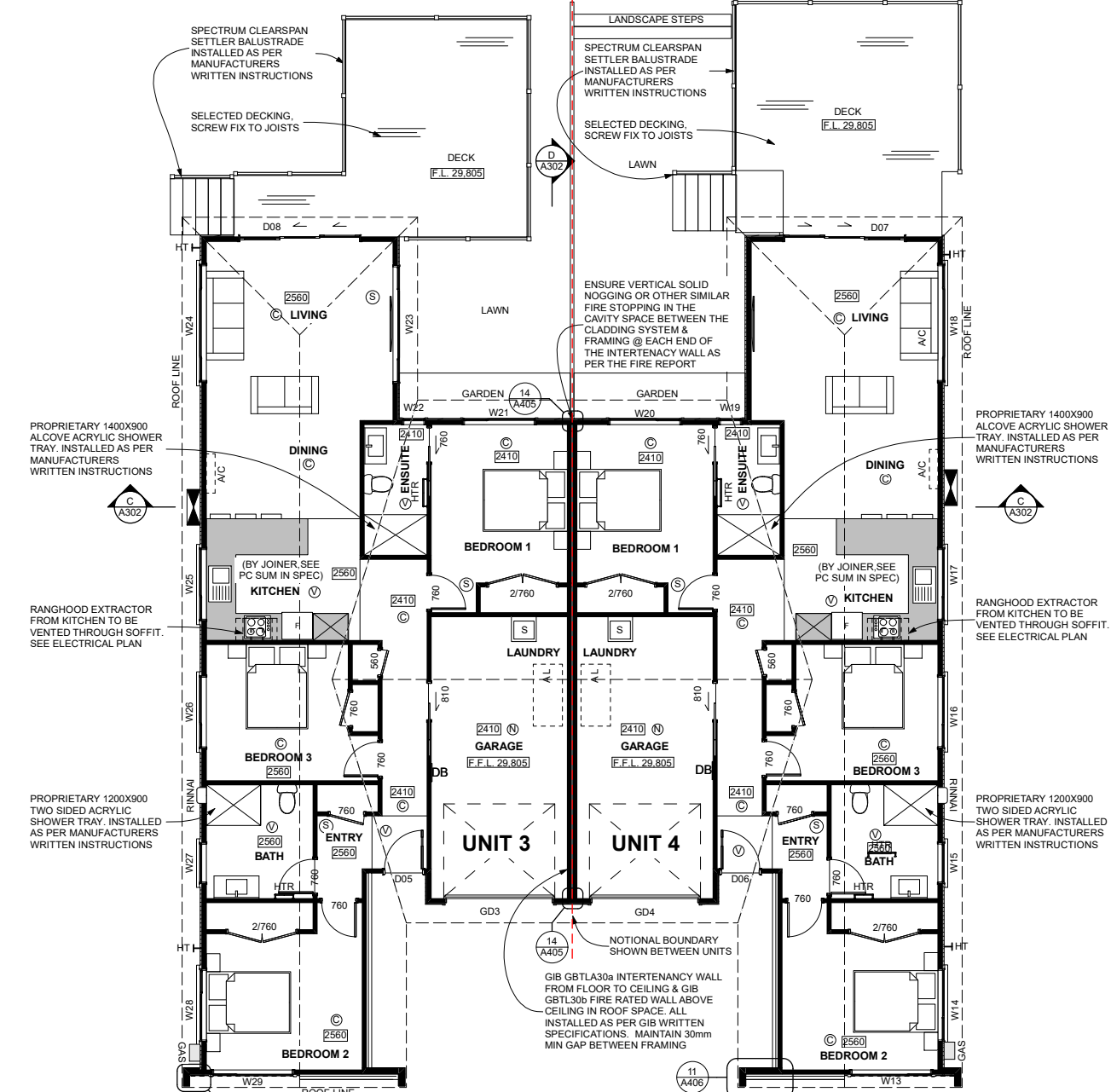
SHEET **A102**
REV **R1**

TITLE: **SITE PLAN**



FLOOR PLAN U1 & U2 1:100

UNIT 1 FLOOR AREA	86.4m ²
UNIT 2 FLOOR AREA	90.8m ²
UNIT 3 FLOOR AREA	118.2m ²
UNIT 4 FLOOR AREA	118.2m ²
TOTAL GROSS FLOOR AREA	413.6m²



FLOOR PLAN U3 & U4 1:100

UNIT 1 FLOOR AREA	86.4m ²
UNIT 2 FLOOR AREA	90.8m ²
UNIT 3 FLOOR AREA	118.2m ²
UNIT 4 FLOOR AREA	118.2m ²
TOTAL GROSS FLOOR AREA	413.6m²

GENERAL NOTES

- ALL TIMBER TO BE SG8
- EXTERNAL WALLS UP TO 2.7m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 600 CRS
- ALL NOGGS TO BE @ 800 CRS MAX LESS CEDAR CLAD WALLS TO BE NOGGED @ 480 CRS MAX
- FOR STUD SPACINGS GREATER THAN 450mm ALLOW FOR HORIZONTAL POLYPROPYLENE STRAPS @ 300 CRS MAX DRAWN TAUT AS PER E2/AS1
- ALL TIMBER FRAMED INTERNAL WALLS TO BE 100X50 TIMBER FRAMING WITH STUDS @ 600 CRS, WITH NOGGS @ 800 CRS MAX
- FOR CLARIFICATION OF STUD SIZES SEE DIMENSION PLAN OR CONTACT DESIGNER
- ALL INTERNAL DOORS TO BE 2000 HIGH PAINTE QUALITY HOLLOW CORE DOORS. ALL INTERNAL DOOR LINTELS TO BE 290X45 LESS DOORS OVER 1.0m WIDE TO BE 2/140X45
- ALL INTERIOR DOOR HARDWARE FROM THE WINDSOR FUTURA 'APEX' RANGE INCLUDING PRIVACY LATCHES TO WET ROOMS & DOOR STOPS. 200mm HIGH SATIN CHROME RECESSED HANDLES TO ALL INTERNAL SLIDING DOORS

- SEE ELECTRICAL PLAN FOR MECHANICAL VENTILATION OF WET AREAS
- 60X10 SQUARE EDGE PINE SKIRTING. 60X10 SQUARE EDGE PINE ARCHITRAVE. SQUARE STOP WALL/CILING JUNCTION THROUGHOUT, FILLED & TAPED IN ACCORDANCE WITH GIB SITE GUIDE & FIRE WALL REQUIREMENTS
- WALLS TO BE INSULATED WITH MIN R2.4 WALL BATTS. CEILINGS TO BE INSULATED WITH MIN R3.2 BLANKET INSULATION LESS RAFTERED AREAS TO BE INSULATED WITH R3.2 SKILLION ROOF INSULATION
- SEE SEPARATE WINDOW & DOOR SCHEDULE FROM SHEET A504
- CONFIRM SLAB REBATES FOR ALL DOORS FOR LEVEL ENTRY THRESHOLD AS PER FINAL FLOORING SELECTIONS & JOINERY PROFILE, CONFIRM WITH MANUFACTURER
- KITCHEN JOINERY UNITS AS PER JOINER
- ALLOW TO CONSULT DESIGNER FOR POSITION OF TV AERIAL / SKY DISH
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE. SEE PC SUM IN SPEC
- ALLOW FOR SHELF & RAIL TO ALL BEDROOMS. ALLOW FOR 5 EVENLY SPACED PINE 90X25 SLAT SHELVES INCLUDING ADEQUATE SUPPORT TO ALL STORES & CUPBOARDS
- 1 MACHINE COAT. 1 SITE COAT OF WOOD X PENETRATING WOOD OIL TO ALL CEDAR. COLOUR DAMPER
- SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER TREATMENT

LININGS

- WALL LININGS TO WET AREAS TO BE 10mm GIB AQUALINE, LEVEL 4 PLASTER FINISH WITH HIGH SHEEN ACRYLIC PAINT SYSTEM
- ALL OTHER WALL LININGS TO BE 10mm STANDARD GIB, LEVEL 4 PLASTER FINISH, UNLESS REQUIRED FOR BRACING OR FIRE RATING (REFER BRACING PLAN & FIRE REPORT)
- CEILING LININGS TO WET AREAS TO BE 13mm GIB AQUALINE, LEVEL 4 PLASTER FINISH
- ALL OTHER CEILING LININGS TO BE 13mm STANDARD GIB, LEVEL 4 PLASTER FINISH
- SOFFITS TO BE 6.0mm HARDIFLEX SOFFIT LINING WITH UPVC JOINTERS

FLOORING KEY

- ⊙ = CARPET OVER SELECTED UNDERLAY
- ⊙ = GARAGE CARPET COMPLETE WITH RUBBER LOW PROFILE BAR @ GARAGE DOOR TO TERMINATE
- ⊙ = SELECTED VINYL PLANK

- HT = HOSE TAP
- 2410 = HEIGHT TO U/S OF CEILING TO BE 2560 UNLESS OTHERWISE NOTED IN BOX
- RINNAI = RINNAI INFINITY A26 INSTANTANEOUS GAS HOT WATER AS PER MANUFACTURERS WRITTEN INSTRUCTIONS. PLUMB TO KITCHEN, BATHROOM, ENSUITE & LAUNDRY. FIT IN RECESSED BOX INTO WALL FRAMING. CONNECT TO STREET SUPPLY
- HTR = HEATED TOWEL RAIL
- DB = DISTRIBUTION BOARD WITH INTEGRATED METERBOX (SMART METER)
- ⊙ = SMOKE DETECTOR, 10yr PHOTOELECTRIC GS-526 GOLDAIR (OR SIMILAR) - BATTERY OPERATED

- GAS = GAS METER. ALLOW TO CONFIRM LOCATION WITH SUPPLIER PRIOR TO INSTALLATION
- ⊙ = EXTERIOR UNIT FOR INTERNAL HEAT PUMP. ALLOW FOR CONCRETE PAD TO SUIT UNIT
- A/C = HEAT PUMP - HIGH WALL MOUNTED MITSUBISHI HEAVY INDUSTRIES HEAT PUMP OR SIMILAR, SIZED AS PER TENANCY SERVICES HEALTHY HOMES HEATING REPORT. WITH CONDENSATE DRAIN PLUMBED TO WASTEWATER OR EXTERIOR OF BUILDING ENVELOPE AS MINIMUM
- S = ROBINHOOD SUPERTV ST3101
- SELLWOOD FT30 ATTIC LADDER. INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS.

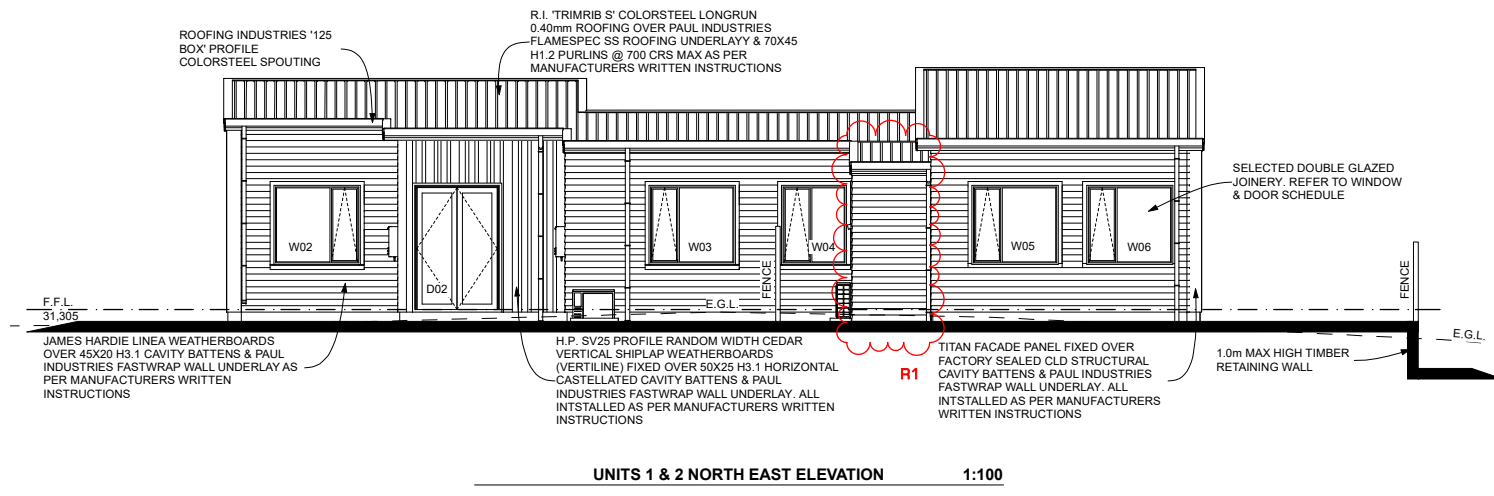
R1 - 23/09/2021 - ENSUITE ADDITION TO UNIT 2 - BUILDING ELEMENTS ALTERED TO SUIT. WINDOW 04 MOVED TO ALLOW FOR ENSUITE ENTRY.

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
 - ALL TIMBER TO COMPLY WITH NZS3602
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
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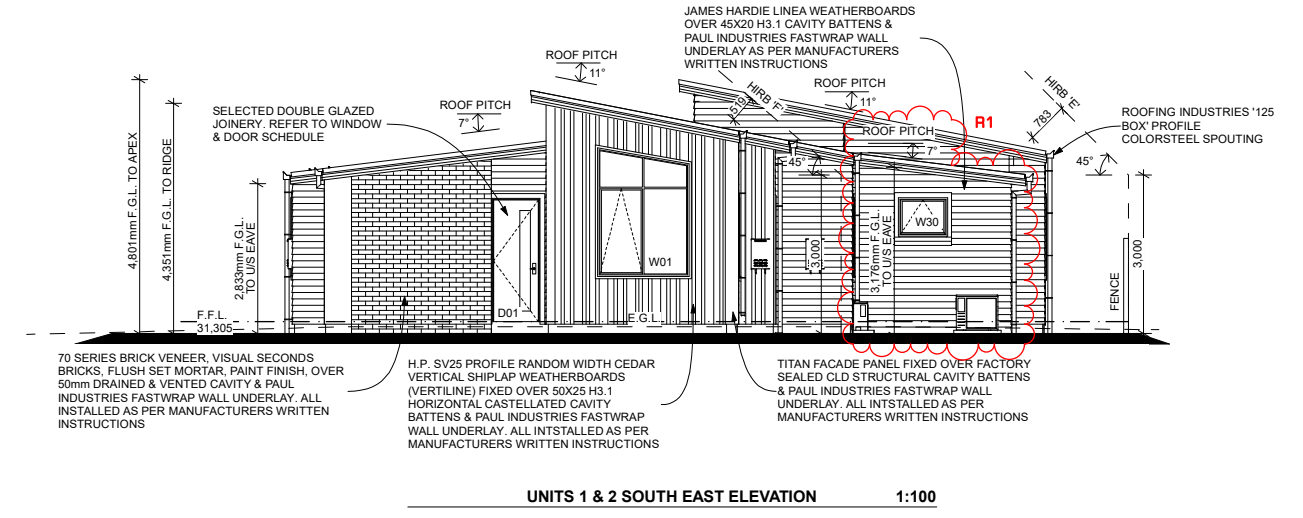


TANEKAHA DUPLEX'S
 25 TANEKAHA PLACE
 HAMILTON

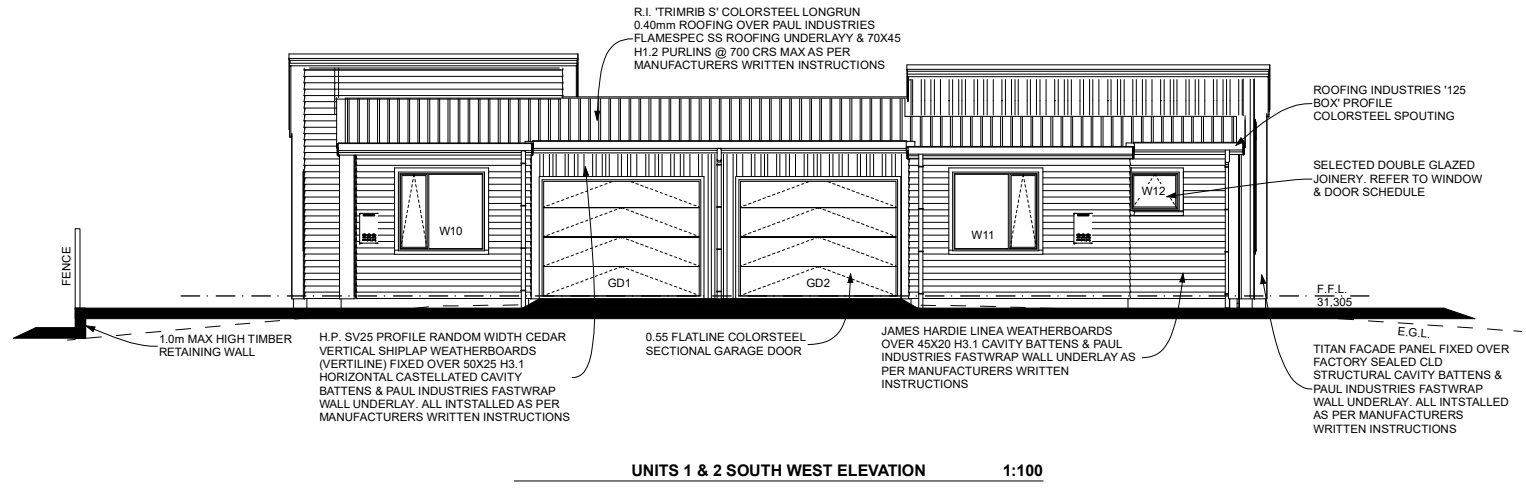
ISSUED: 03/08/2021
 DRAWN BY: DA
FLOOR PLANS
 PROJECT STATUS: **CONSENT**



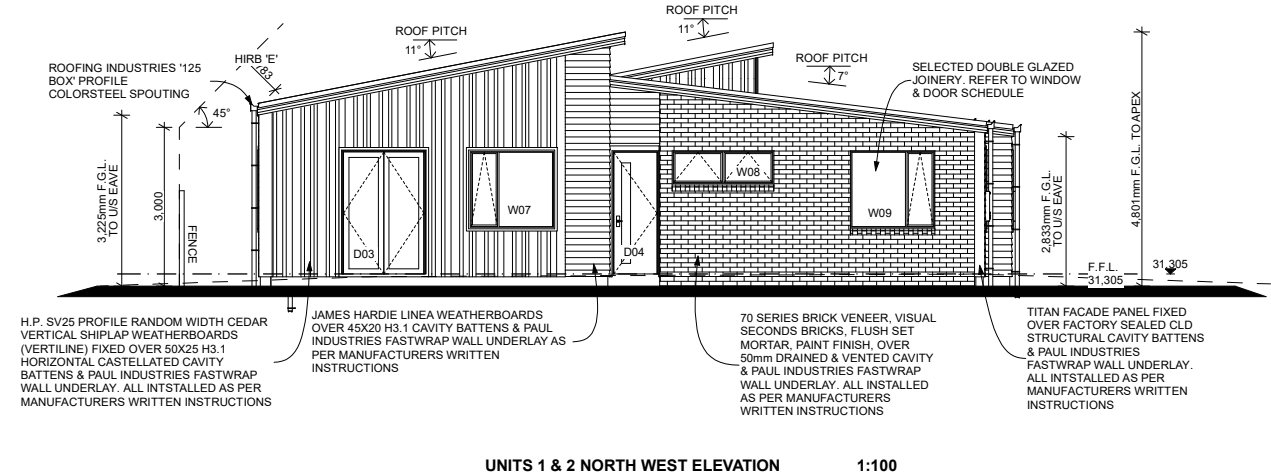
UNITS 1 & 2 NORTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH WEST ELEVATION 1:100



UNITS 1 & 2 NORTH WEST ELEVATION 1:100

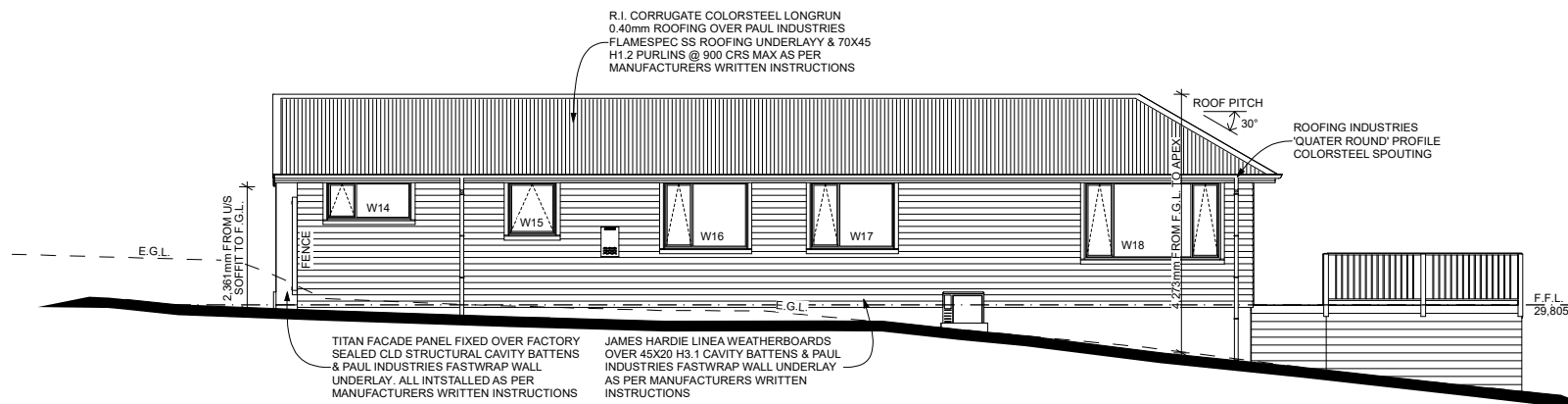
R1 - 23/09/2021 - ENSUITE ADDITION TO UNIT 2 - BUILDING ELEMENTS ALTERED TO SUIT.

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
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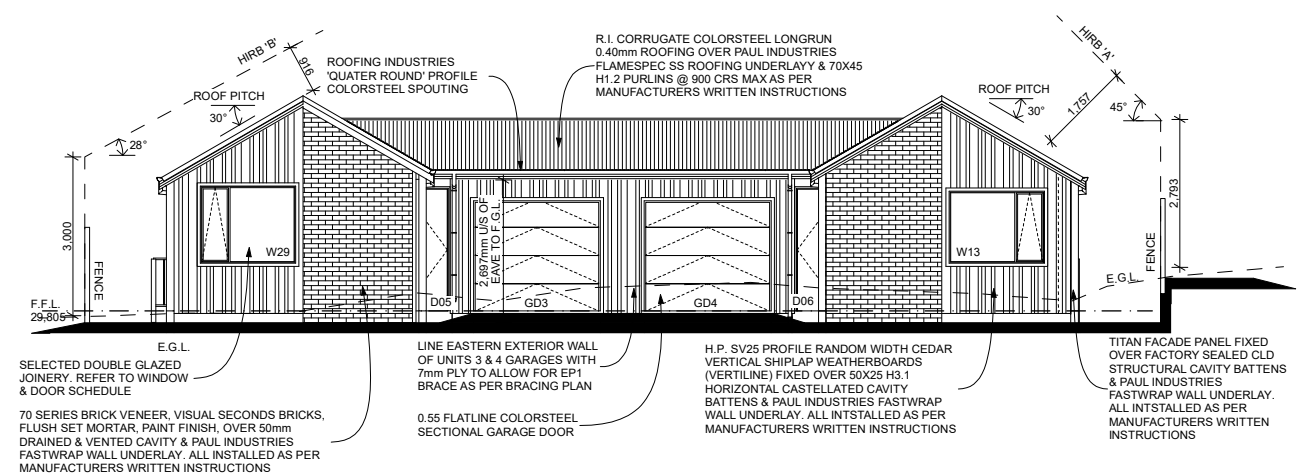


TANEKAHA DUPLEX'S
25 TANEKAHA PLACE
HAMILTON

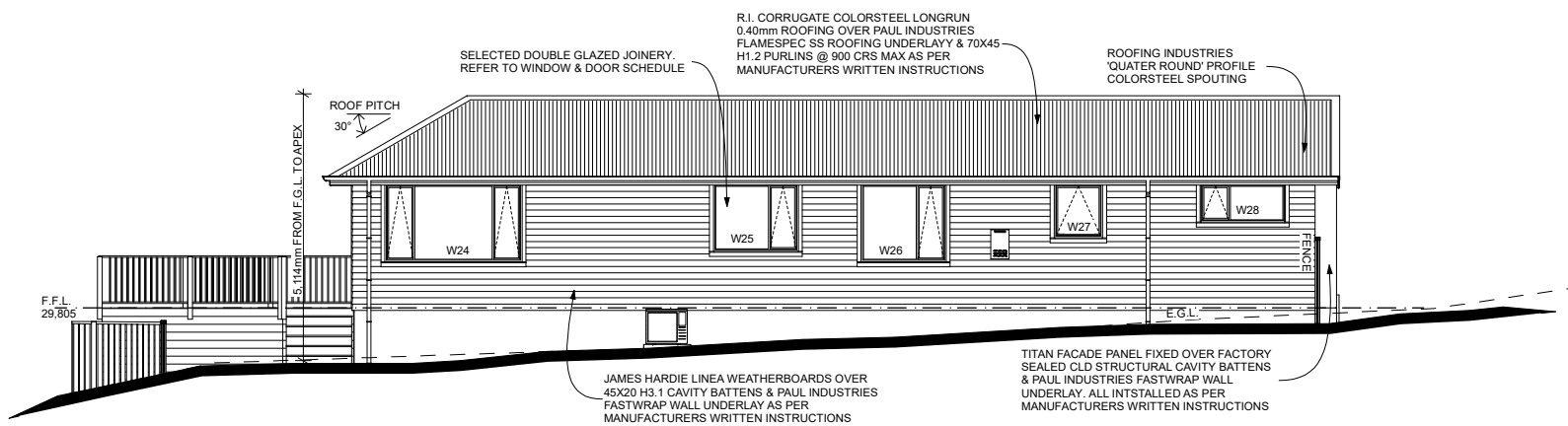
REV SHEET	A201	ISSUED:	03/08/2021
R1		DRAWN BY:	DA
TITLE:	UNIT 1 & 2 ELEVATIONS		
PROJECT STATUS:	CONSENT		



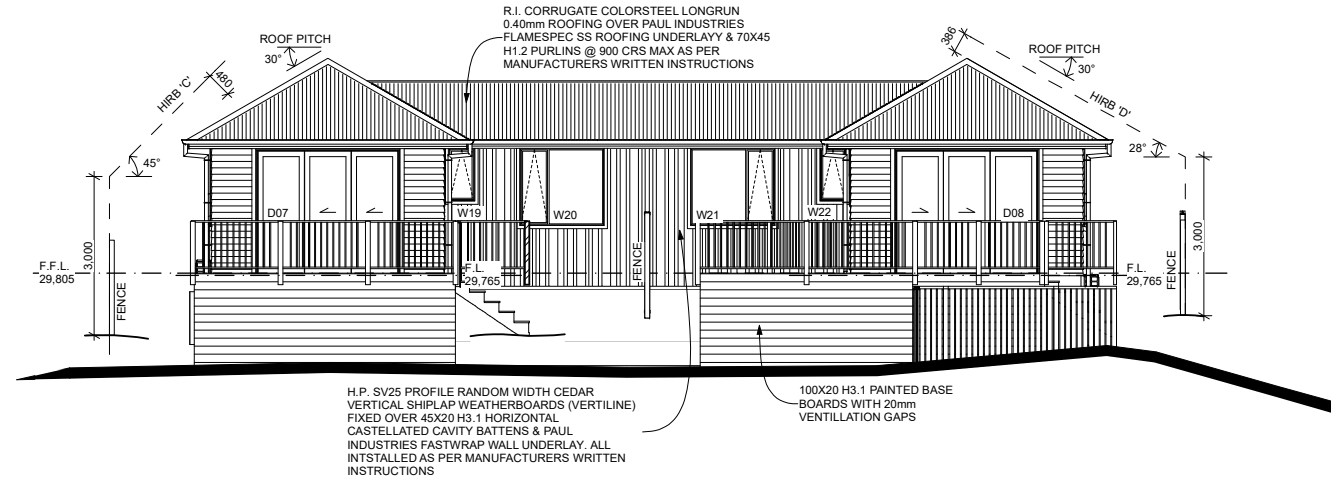
UNITS 3 & 4 NORTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH WEST ELEVATION 1:100



UNITS 3 & 4 NORTH WEST ELEVATION 1:100

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
 - ALL TIMBER TO COMPLY WITH NZS3602
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
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TANEKAHA DUPLEX'S
 25 TANEKAHA PLACE
 HAMILTON

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REV SHEET A202 ISSUED: 03/08/2021
 DRAWN BY: DA
 TITLE: UNITS 3 & 4 ELEVATIONS
 PROJECT STATUS: CONSENT