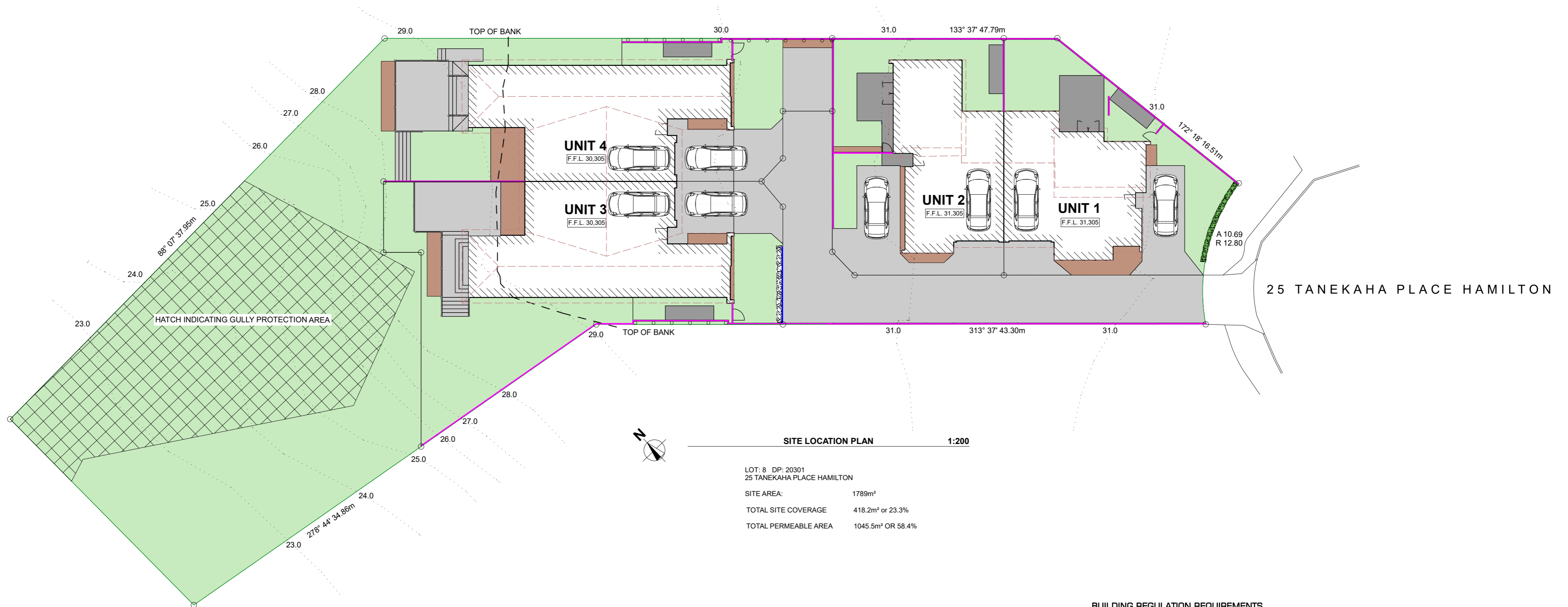


UNIT 4	
FLOOR AREA	118.2m ²
SITE AREA	904m ²
SITE COVERAGE	121.0m ² or 13.3%
PERMEABLE AREA	740m ² OR 81.8%

UNIT 3	
FLOOR AREA	118.2m ²
SITE AREA	306.3m ²
SITE COVERAGE	121.0m ² or 36.9%
PERMEABLE AREA	180m ² OR 54.9%

UNIT 2	
FLOOR AREA	86.4m ²
SITE AREA	204.07m ²
SITE COVERAGE	88.1m ² or 43.1%
PERMEABLE AREA	62.5m ² OR 30.6%

UNIT 1	
FLOOR AREA	86.4m ²
SITE AREA	204.21m ²
SITE COVERAGE	88.1m ² or 43.1%
PERMEABLE AREA	68.5m ² OR 33.5%
FRONT SETBACK AREA	34.5m ²
PERMEABLE SETBACK AREA	17.25m ² OR 50%



SITE LOCATION PLAN 1:200

LOT: 8 DP: 20301
 25 TANEKAHA PLACE HAMILTON
 SITE AREA: 1789m²
 TOTAL SITE COVERAGE 418.2m² or 23.3%
 TOTAL PERMEABLE AREA 1045.5m² OR 58.4%

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
 - ALL TIMBER TO COMPLY WITH NZS3602
 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
 - CHECK ALL DIMENSIONS ON SITE
 - CHECK WITH DESIGNER IF IN ANY DOUBT
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TANEKAHA DUPLEX'S
 25 TANEKAHA PLACE
 HAMILTON

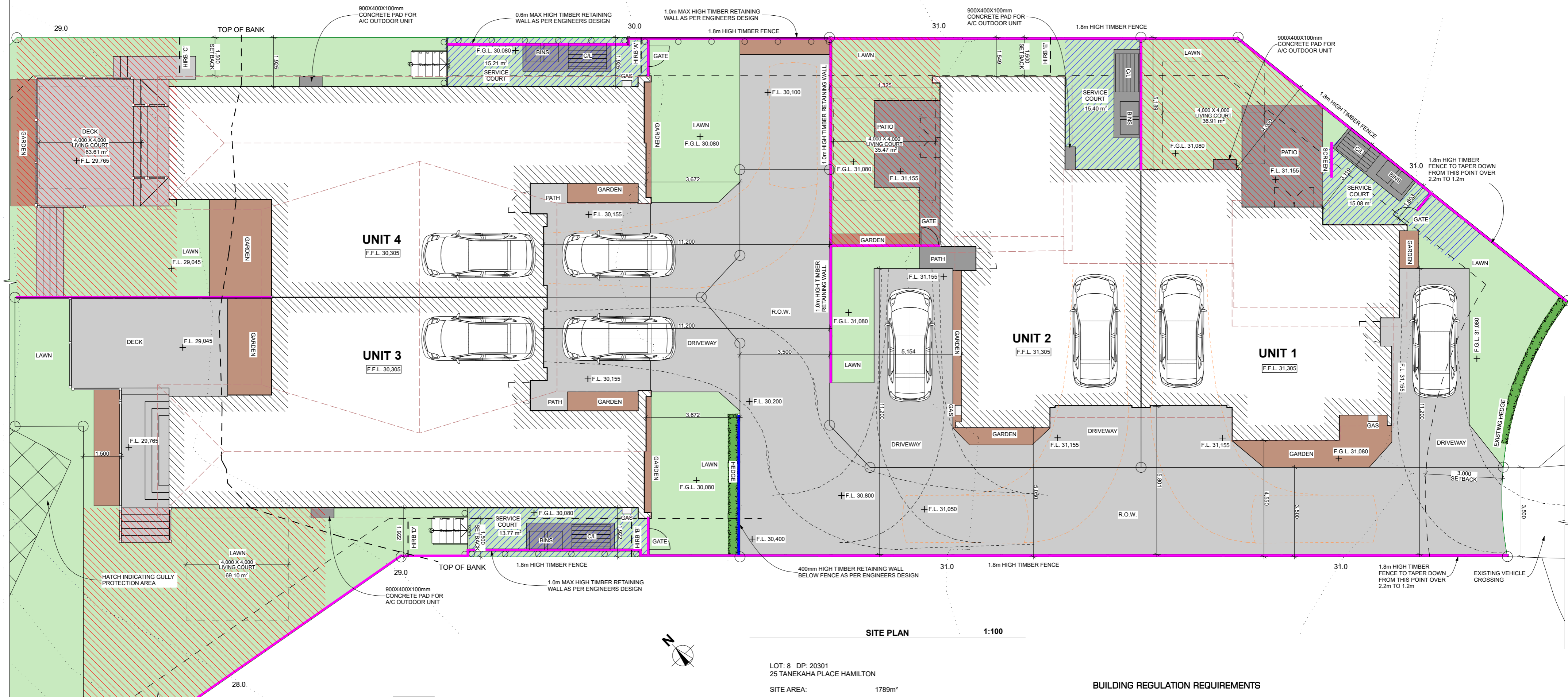
REV	SHEET	A101	ISSUED:	07/01/2021
			DRAWN BY:	JF
TITLE:		SITE LOCATION PLAN		
PROJECT STATUS:		LAND USE CONSENT		

UNIT 4	
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SITE AREA	904m ²
SITE COVERAGE	121.0m ² or 13.3%
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FRONT SETBACK AREA	34.5m ²
PERMEABLE SETBACK AREA	17.25m ² OR 50%



SITE PLAN 1:100

- = LAWN OVER 100mm MIN OF TOPSOIL
- HEDGE** = GRISELINIA HEDGE, 0.9m SPACINGS, PB8, 0.6m HIGH PLANTED, 1.5m HIGH MATURE
- = LIVING COURT
- = SERVICE COURT

SITE KEY

- = 1.8m HIGH TIMBER FENCE TYPICALLY (OR UNLESS OTHERWISE NOTED) - 1.2m WHERE TAPERED DOWN AS NOTED. 100X100 H4 POSTS & 2m CRS MAX IN 250dia X 800mm DEEP 20MPA CONCRETE FOOTINGS. 100X50 H3.2 RAILS X 3 WITH HDG BATTEN SCREW TO POSTS. 150X25 H3.2 PAILINGS WITH 5mm MAX GAPS.
- = POWDERCOATED ALUMINIUM VERTICAL FENCE INSTALLED TO MANUFACTURERS RECOMMENDATIONS. HEIGHT NOTED ON PLANS. TOP MOUNT TO CONCRETE / TIMBER. SEE BOUNDARYLINE DURAPANEL TITAN DETAILS & PS1 IN SPEC.
- = PATHS, PATIOS & A/C CONCRETE PADS (41.7m² TOTAL). FIRTH MANORFIELD 100mm THICK 20MPA CONCRETE. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- = DRIVEWAY (289m² TOTAL). FIRTH MANORFIELD 125mm THICK 20MPA CONCRETE WITH 866 MESH. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING & TOWARDS CATCHPIT WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- = GARDEN AREAS AS INDICATED - BLACK RE-HARVEST MULCH. PLANTING A MIX OF LOMANDRA LIME TUFFED, PB8, 0.7m SPACINGS. LIBERTIA, PB8, 0.4m SPACINGS. COPROSMIA HAWERA, PB8, 1m SPACINGS. LOROPETALUM "CHINA PINK", PB8, 1.2m SPACINGS.

LOT: 8 DP: 20301
25 TANAKAHA PLACE HAMILTON

SITE AREA: 1789m²
TOTAL SITE COVERAGE 418.2m² or 23.3%
TOTAL PERMEABLE AREA 1045.5m² OR 58.4%

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
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- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
- ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
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- CHECK ALL DIMENSIONS ON SITE
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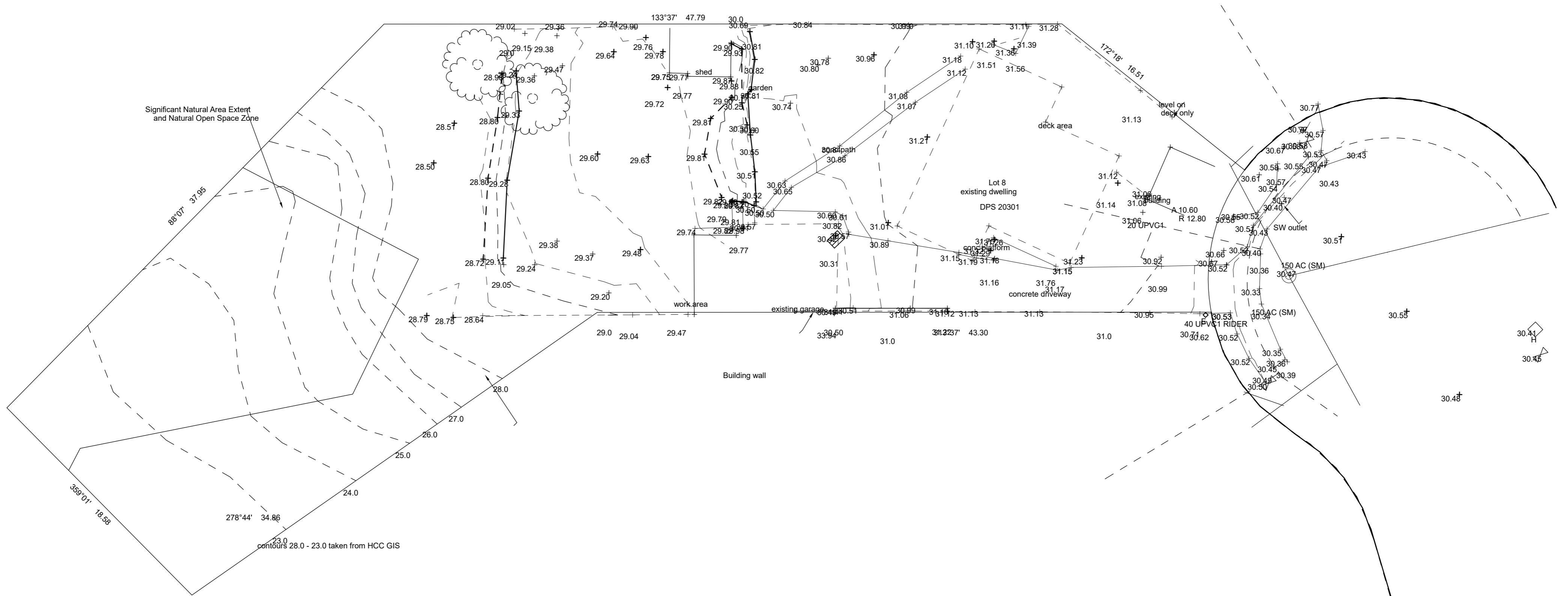
TANEKAHA DUPLEX'S
25 TANAKAHA PLACE
HAMILTON

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REV SHEET	A102	ISSUED:	07/01/2021
REV		DRAWN BY:	JF
TITLE:		SITE PLAN	
PROJECT STATUS:		LAND USE CONSENT	

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES



EXISTING SITE LEVELS PLAN 1:200

LOT: 8 DP: 20301
 25 TANAKAHA PLACE HAMILTON
 SITE AREA: 1789m²

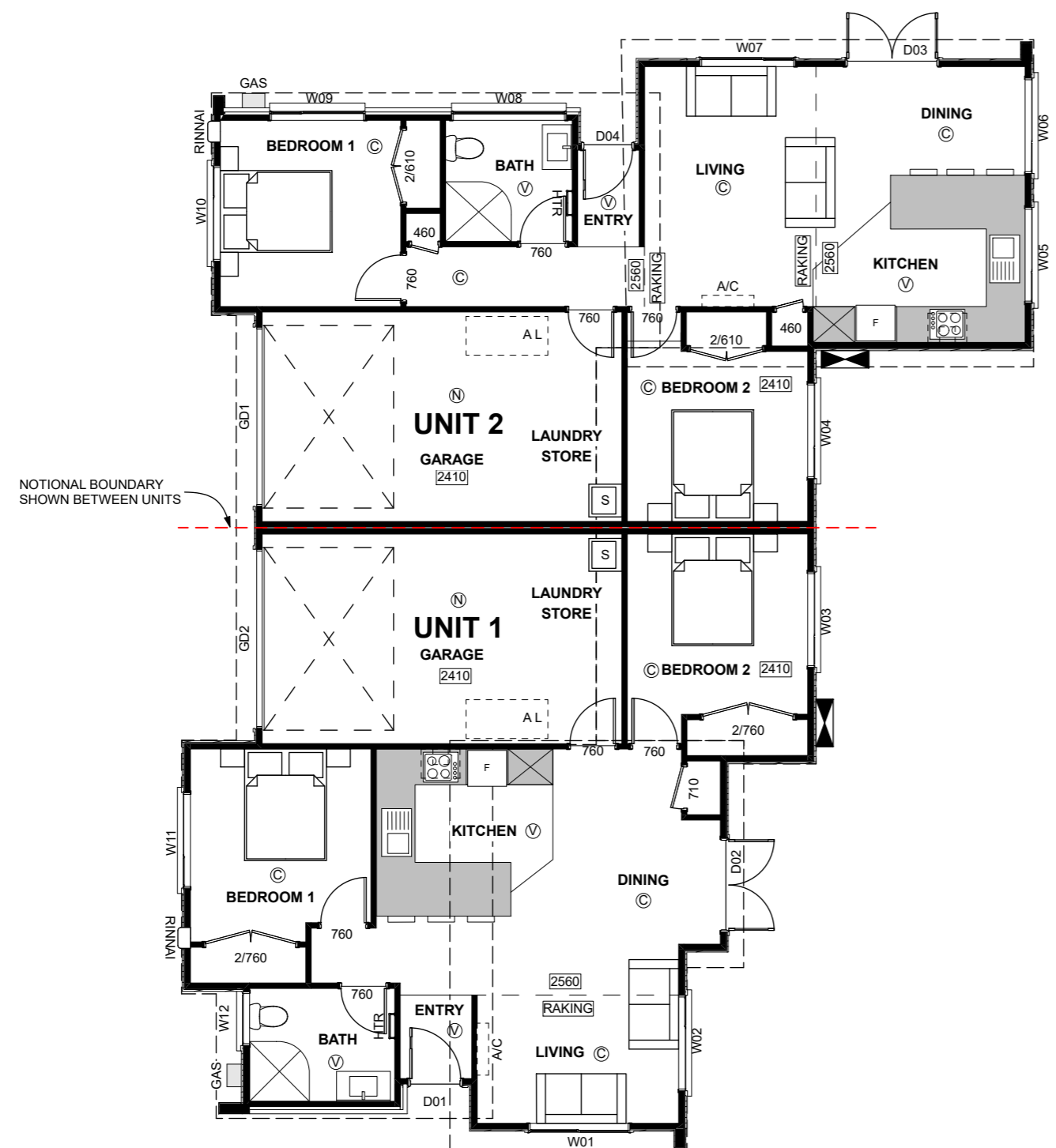
NTS IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
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TANAKAHA DUPLEX'S
 25 TANAKAHA PLACE
 HAMILTON

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REV SHEET	A103	ISSUED:	07/01/2021
REV		DRAWN BY:	JF
TITLE:	EXISTING SITE LEVELS PLAN		
PROJECT STATUS:	LAND USE CONSENT		



FLOOR PLAN U1 & U2 1:100

UNIT 1 FLOOR AREA	86.4m ²
UNIT 2 FLOOR AREA	86.4m ²
UNIT 3 FLOOR AREA	118.2m ²
UNIT 4 FLOOR AREA	118.2m ²
TOTAL GROSS FLOOR AREA	409.2m²

GENERAL NOTES

ALL TIMBER TO BE SG8

EXTERNAL WALLS UP TO 2.7m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 600 CRS

EXTERNAL WALLS BETWEEN 2.7m - 3.0m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 400 CRS

EXTERNAL WALLS ABOVE 3.0m HIGH TO BE 290X45 TIMBER FRAMING WITH STUDS @ 400 CRS

N.B. ALL STUDS SUPPORTING CEDAR CLADDING TO BE @ 400 CRS MAX

ALL NOGGES TO BE @ 800 CRS MAX LESS CEDAR CLAD WALLS TO BE NOGGED @ 480 CRS MAX

FOR STUD SPACINGS GREATER THAN 450mm ALLOW FOR HORIZONTAL POLYPROPYLENE STRAPS @ 300 CRS MAX DRAWN TAUT AS PER E2/AS1

ALL TIMBER FRAMED INTERNAL WALLS TO BE 100X50 TIMBER FRAMING WITH STUDS @ 600 CRS, WITH NOGGES @ 800 CRS MAX

FOR CLARIFICATION OF STUD SIZES SEE DIMENSION PLAN OR CONTACT DESIGNER

ALL INTERNAL DOORS TO BE 2000 HIGH PAINT QUALITY HOLLOW CORE DOORS. ALL INTERNAL DOOR LINTELS TO BE 290X45 LESS DOORS OVER 1.0m WIDE TO BE 2140X45

ALL INTERIOR DOOR HARDWARE FROM THE WINDSOR FUTURA 'APEX' RANGE INCLUDING PRIVACY LATCHES TO WET ROOMS & DOOR STOPS, 200mm HIGH SATIN CHROME RECESSED HANDLES TO ALL INTERNAL SLIDING DOORS

SEE ELECTRICAL PLAN FOR MECHANICAL VENTILATION OF WET AREAS

60X10 SQUARE EDGE PINE SKIRTING, 60X10 SQUARE EDGE PINE ARCHITRAVE, SQUARE STOP WALL/CEILING JUNCTION THROUGHOUT, FILLED & TAPED IN ACCORDANCE WITH GIB SITE GUIDE & FIRE WALL REQUIREMENTS

WALLS TO BE INSULATED WITH MIN R2.4 WALL BATTS, CEILINGS TO BE INSULATED WITH MIN R3.2 BLANKET INSULATION LESS RAFTERED AREAS TO INSULATED WITH R3.2 SKILLION ROOF INSULATION

SEE SEPARATE WINDOW & DOOR SCHEDULE FROM SHEET A504

CONFIRM SLAB REBATES FOR ALL DOORS FOR LEVEL ENTRY THRESHOLD AS PER FINAL FLOORING SELECTIONS & JOINERY PROFILE, CONFIRM WITH MANUFACTURER

KITCHEN JOINERY UNITS AS PER JOINER

ALLOW TO CONSULT DESIGNER FOR POSITION OF TV AERIAL / SKY DISH

ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE. SEE PC SUM IN SPEC

ALLOW FOR SHELF & RAIL TO ALL BEDROOMS, ALLOW FOR 5 EVENLY SPACED PINE 90X25 SLAT SHELVES INCLUDING ADEQUATE SUPPORT TO ALL STORES & CUPBOARDS

1 MACHINE COAT, 1 SITE COAT OF WOOD X PENETRATING WOOD OIL TO ALL CEDAR, COLOUR DAMPER

SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER TREATMENT

LININGS

WALL LININGS TO WET AREAS TO BE 10mm GIB AQUALINE, LEVEL 4 PLASTER FINISH WITH HIGH SHEEN ACRYLIC PAINT SYSTEM

ALL OTHER WALL LININGS TO BE 10mm STANDARD GIB, LEVEL 4 PLASTER FINISH, UNLESS REQUIRED FOR BRACING OR FIRE RATING (REFER BRACING PLAN & FIRE REPORT)

CEILING LININGS TO WET AREAS TO BE 13mm GIB AQUALINE, LEVEL 4 PLASTER FINISH

ALL OTHER CEILING LININGS TO BE 13mm STANDARD GIB, LEVEL 4 PLASTER FINISH

SOFFITS TO BE 6.0mm HARDIEFFIT SOFFIT LINING WITH UPVC JOINTERS

FLOORING KEY

- ⊙ = CARPET OVER SELECTED UNDERLAY
- ⊞ = GARAGE CARPET COMPLETE WITH RUBBER LOW PROFILE BAR @ GARAGE DOOR TO TERMINATE
- ⊕ = SELECTED VINYL PLANK



FLOOR PLAN U3 & U4 1:100

UNIT 1 FLOOR AREA	86.4m ²
UNIT 2 FLOOR AREA	86.4m ²
UNIT 3 FLOOR AREA	118.2m ²
UNIT 4 FLOOR AREA	118.2m ²
TOTAL GROSS FLOOR AREA	409.2m²

GENERAL KEY

- ⊞ = GAS METER. ALLOW TO CONFIRM LOCATION WITH SUPPLIER PRIOR TO INSTALLATION
- ⊞ = EXTERIOR UNIT FOR INTERNAL HEAT PUMP. ALLOW FOR CONCRETE PAD TO SUIT UNIT
- A/C = HEAT PUMP - HIGH WALL MOUNTED MITSUBISHI HEAVY INDUSTRIES HEAT PUMP OR SIMILAR, SIZED AS PER TENANCY SERVICES 'HEALTHY HOMES HEATING REPORT', WITH CONDENSATE DRAIN PLUMBED TO WASTEWATER OR EXTERIOR OF BUILDING ENVELOPE AS MINIMUM
- S = ROBINHOOD SUPERTUB ST3101
- AL = SELLWOOD FT30 ATTIC LADDER. INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS.
- ⊞ = CEILING HATCH

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1

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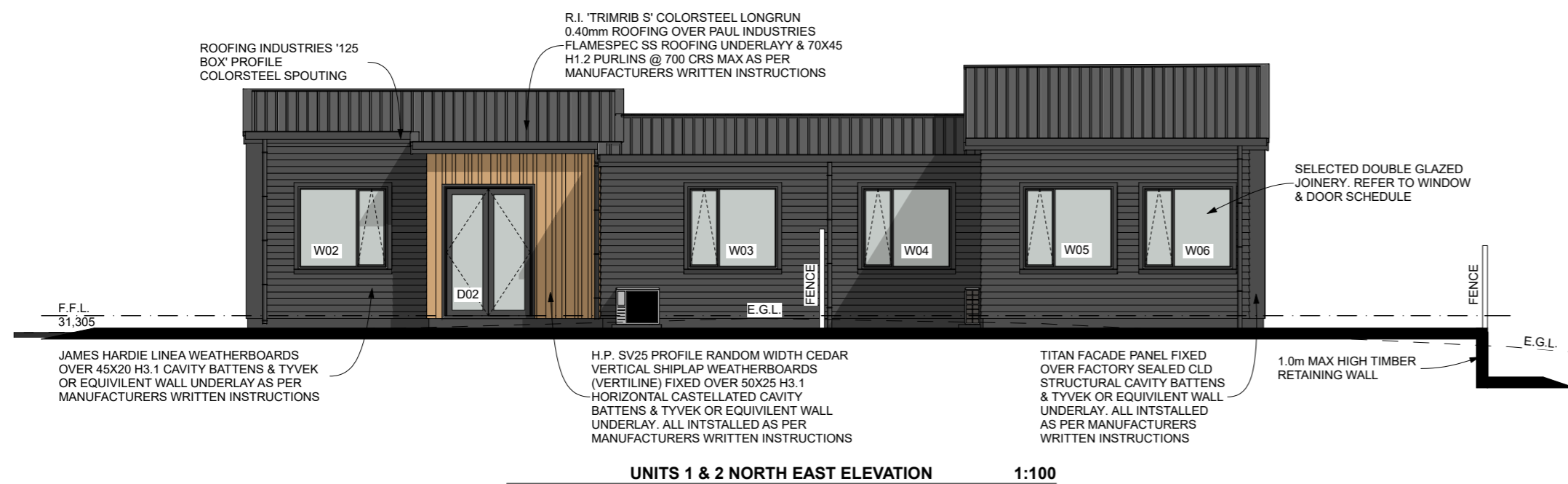
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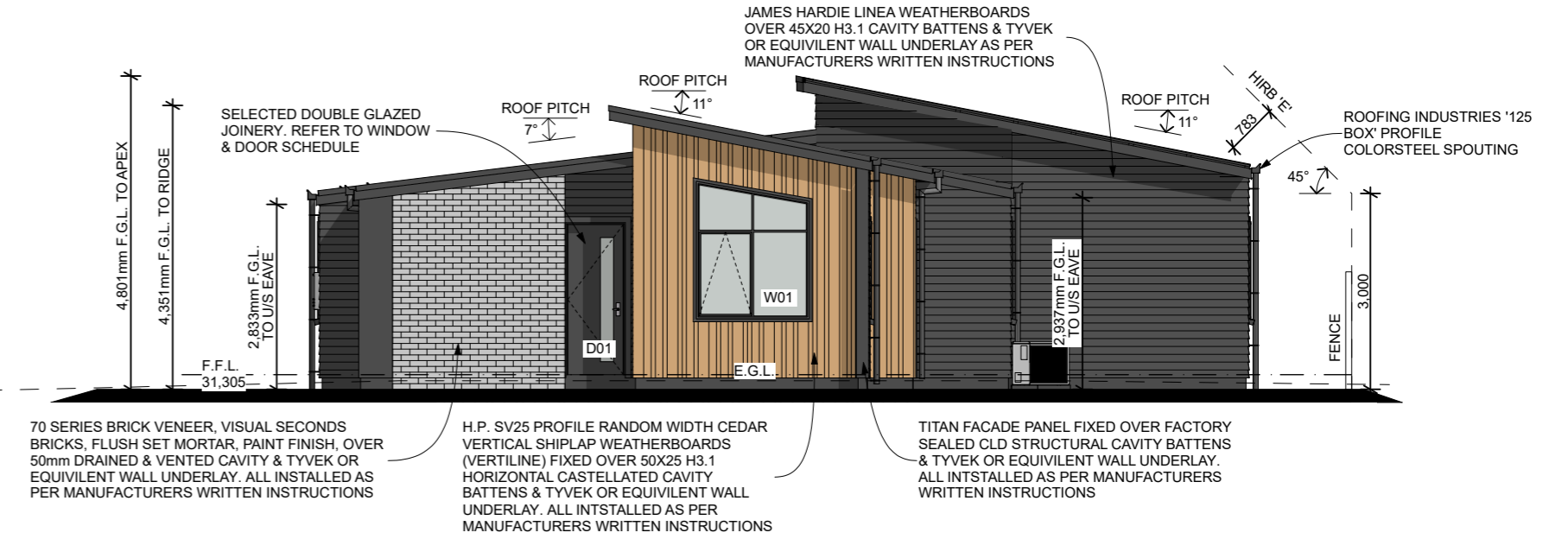
TANEKAHA DUPLEX'S
25 TANEKAHA PLACE
HAMILTON

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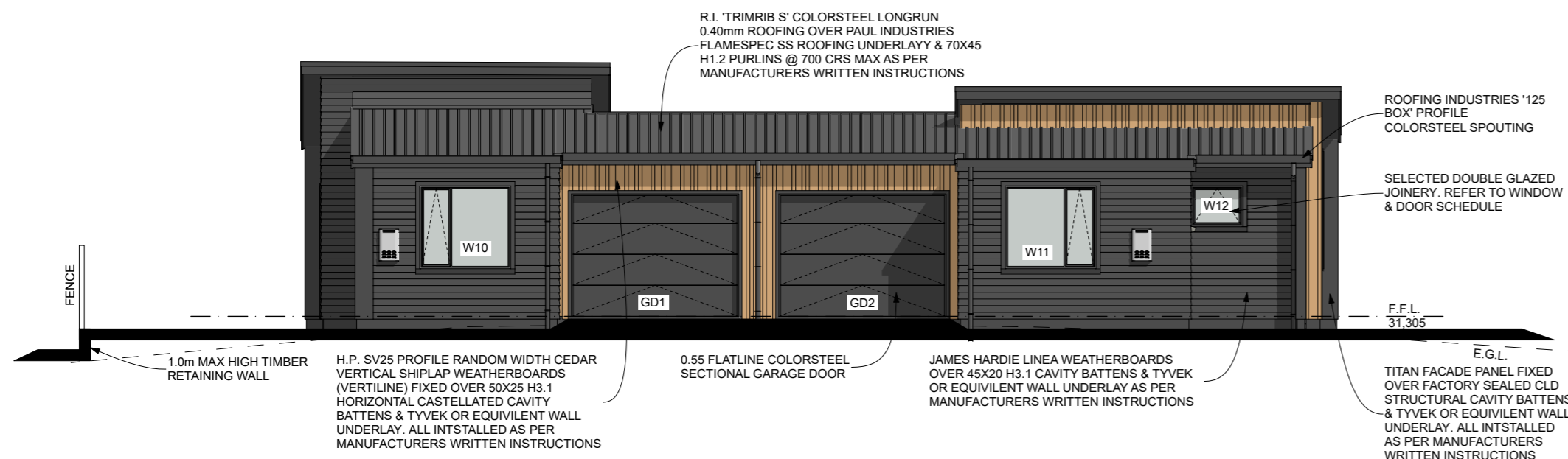
REV SHEET	A104	ISSUED:	07/01/2021
		DRAWN BY:	JF
TITLE:	FLOOR PLANS		
PROJECT STATUS:	LAND USE CONSENT		



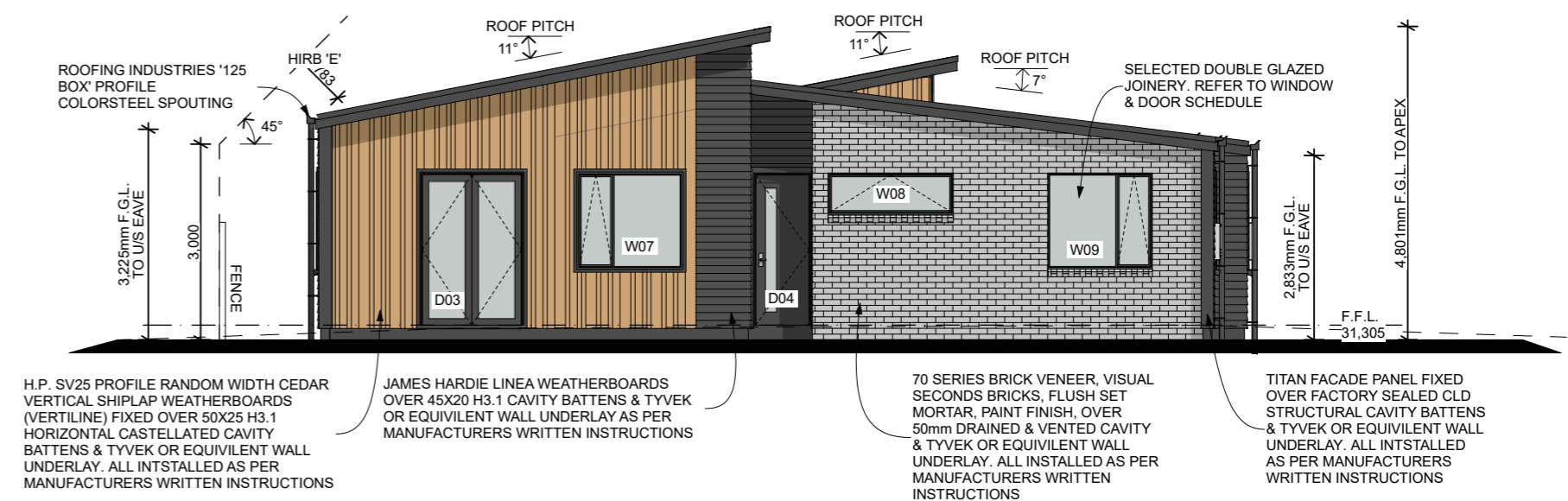
UNITS 1 & 2 NORTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH EAST ELEVATION 1:100



UNITS 1 & 2 SOUTH WEST ELEVATION 1:100



UNITS 1 & 2 NORTH WEST ELEVATION 1:100

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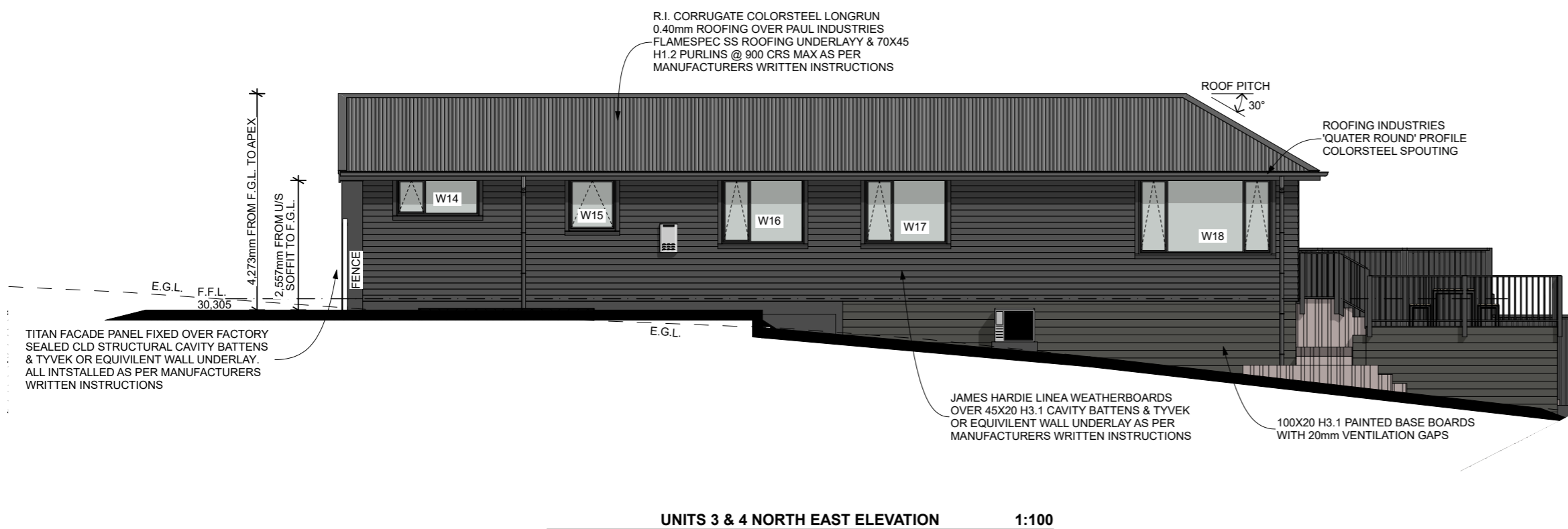


TANEKAHA DUPLEX'S

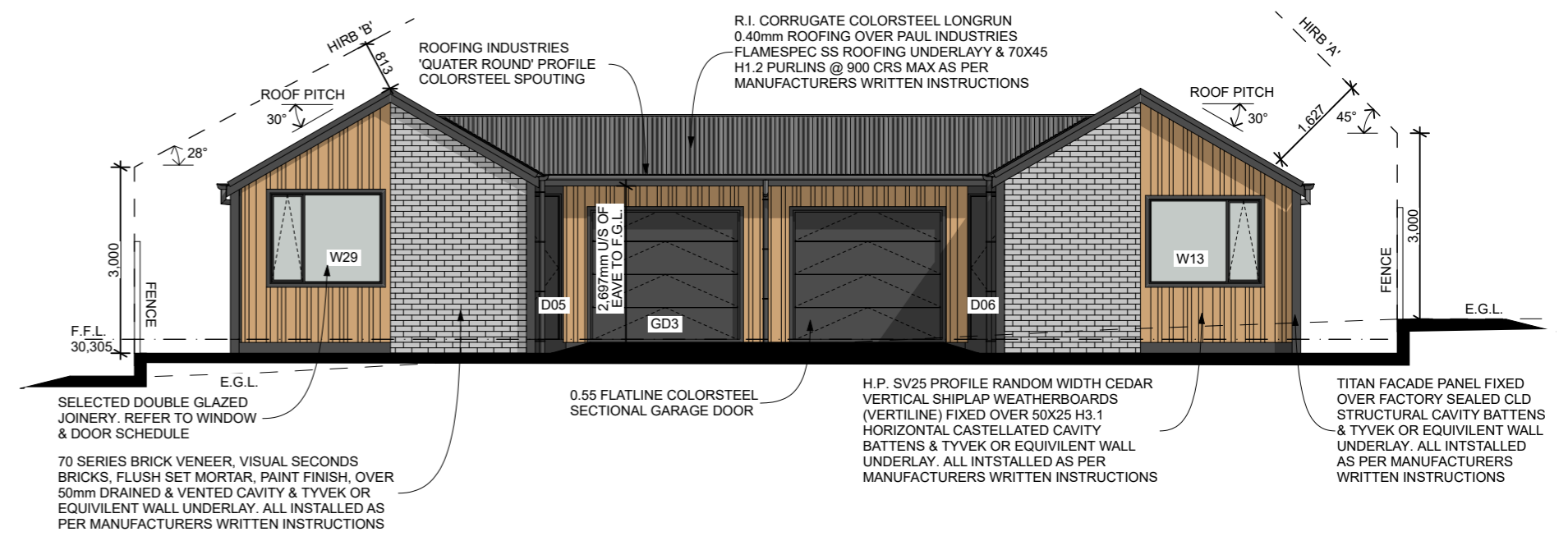
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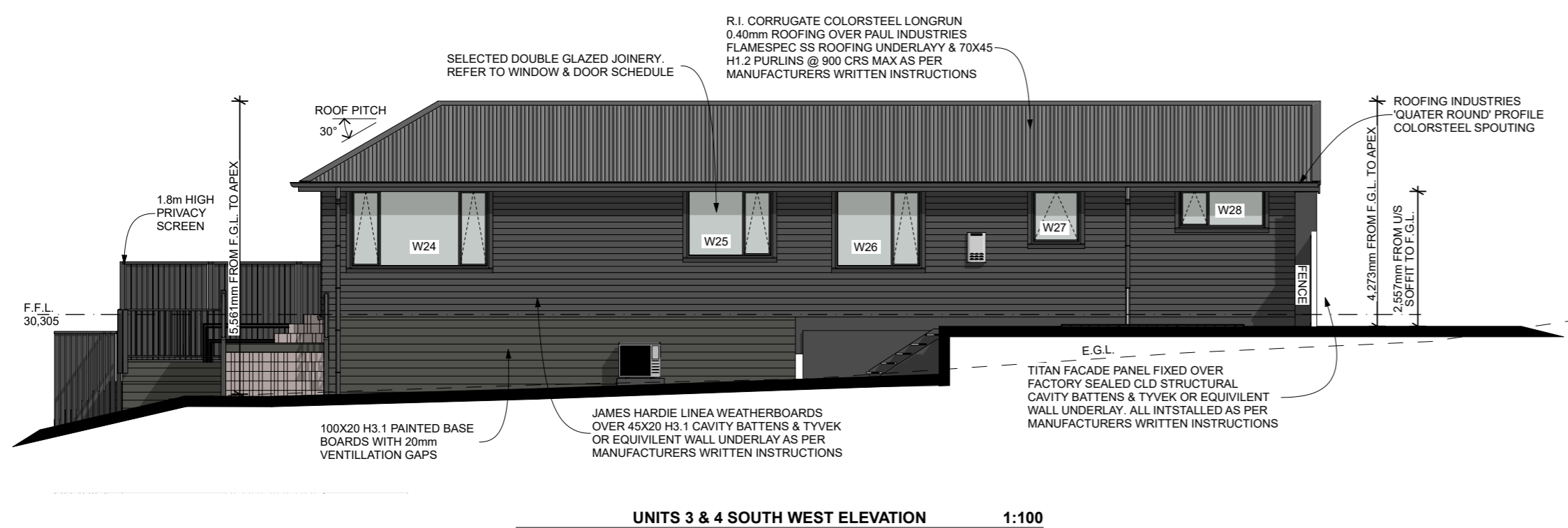
REV SHEET A201 ISSUED: 07/01/2021
 DRAWN BY: JF
 TITLE: UNIT 1 & 2 ELEVATIONS
 PROJECT STATUS: LAND USE CONSENT



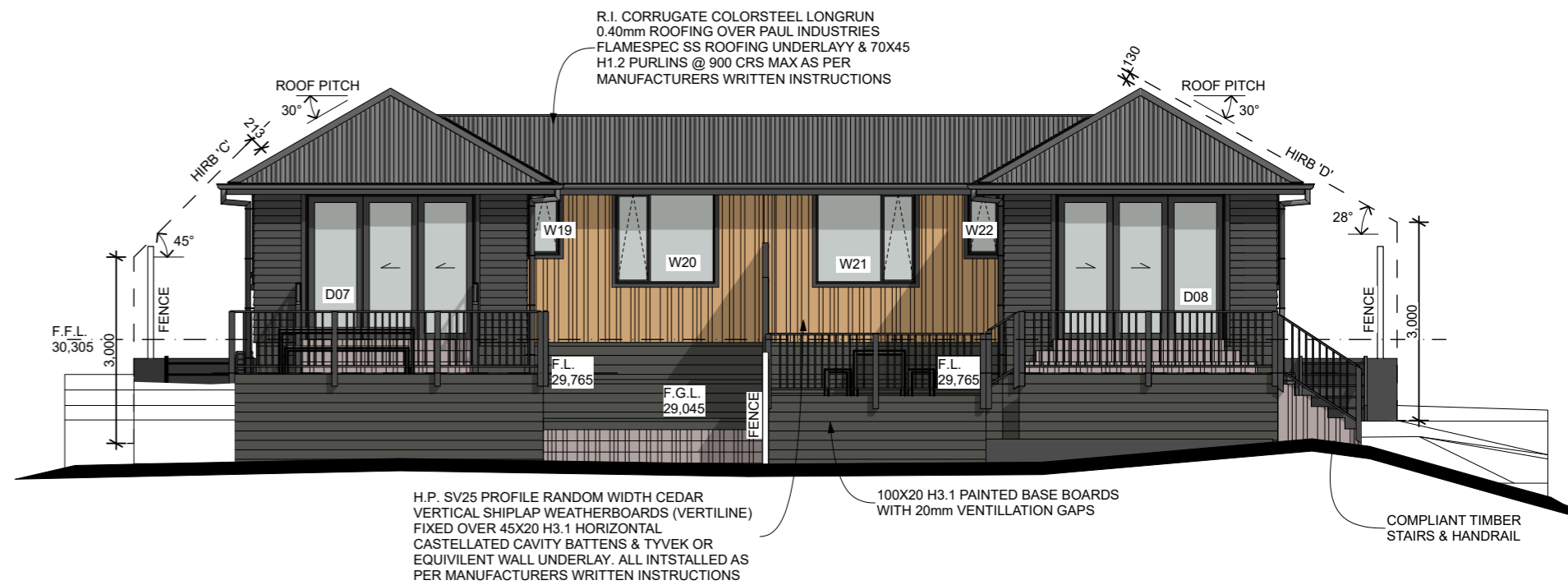
UNITS 3 & 4 NORTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH EAST ELEVATION 1:100



UNITS 3 & 4 SOUTH WEST ELEVATION 1:100



UNITS 3 & 4 NORTH WEST ELEVATION 1:100

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REV	SHEET	A202	ISSUED:	07/01/2021
			DRAWN BY:	JF
TITLE:		UNIT 3 & 4 ELEVATIONS		
PROJECT STATUS:		LAND USE CONSENT		