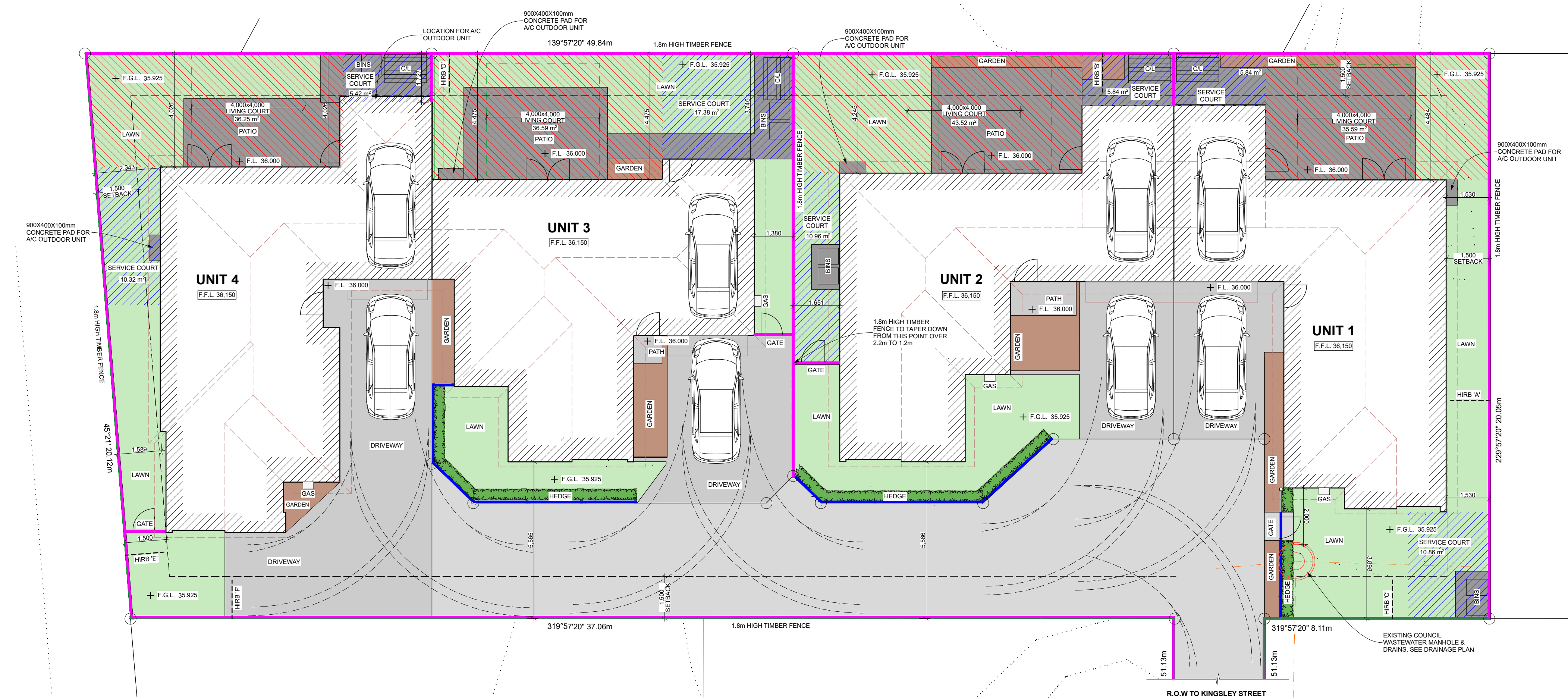


UNIT 4
FLOOR AREA 95.8m²
SITE AREA 230.73m²
SITE COVERAGE 98.0m² or 42.5%
PERMEABLE AREA 67.2m² OR 29.1%

UNIT 3
FLOOR AREA 85.3m²
SITE AREA 203.0m²
SITE COVERAGE 87.36m² or 43.0%
PERMEABLE AREA 62.4m² OR 30.7%

UNIT 2
FLOOR AREA 85.0m²
SITE AREA 202.42m²
SITE COVERAGE 87.06m² or 43.0%
PERMEABLE AREA 69.0m² OR 34.3%

UNIT 1
FLOOR AREA 87.0m²
SITE AREA 203.98m²
SITE COVERAGE 89.0m² or 44.1%
PERMEABLE AREA 67m² OR 32.8%



SITE KEY

- 1.8m HIGH TIMBER FENCE TYPICALLY (OR UNLESS OTHERWISE NOTED) - 1.2m WHERE TAPERED DOWN AS NOTED. 100X100 H4 POSTS & 2m CRS MAX IN 250dia X 600mm DEEP 20MPA CONCRETE FOOTINGS. 100X50 H3.2 RAILS X 3 WITH HDG BATTEN SCREW TO POSTS. 150X25 H3.2 PAILINGS WITH 5mm MAX GAPS.
- POWDERCOATED ALUMINIUM VERTICAL FENCE - INSTALLED TO MANUFACTURERS RECOMMENDATIONS. HEIGHT NOTED ON PLANS. TOP MOUNT TO CONCRETE / TIMBER. SEE BOUNDARYLINE DURAPANEL TITAN DETAILS & PS1 IN SPEC.
- DRIVEWAY. FIRTH MANORFIELD 125mm THICK 20MPA CONCRETE WITH 665 MESH. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING & TOWARDS CATCHPIT WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- PATHS, PATIOS & A/C CONCRETE PADS. FIRTH MANORFIELD 100mm THICK 20MPA CONCRETE. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED SUBGRADE OF CBR>10
- GARDEN AREAS AS INDICATED - BLACK RE-HARVEST MULCH. PLANTING A MIX OF LOMANDRA LIME TUFTED, PB8, 0.7m SPACINGS. LIBERTIA, PB8, 0.4m SPACINGS. COPROSMA HAWERA, PB8, 1m SPACINGS. LOROPETALUM "CHINA PINK", PB8, 1.2m SPACINGS.
- LAWN OVER 100mm MIN OF TOPSOIL
- GRISLINIA HEDGE, 0.9m SPACINGS, PB8, 0.6m HIGH PLANTED, 1.5m HIGH MATURE
- LIVING COURT
- SERVICE COURT

SITE PLAN

1:100



LOT: 5 DP: 6763
9 KINGSLEY STREET, HAMILTON

GROSS SITE AREA: 1138m²

NETT SITE AREA: 978m²

TOTAL SITE COVERAGE 362.91m² or 37.1% (OF NETT SITE AREA)

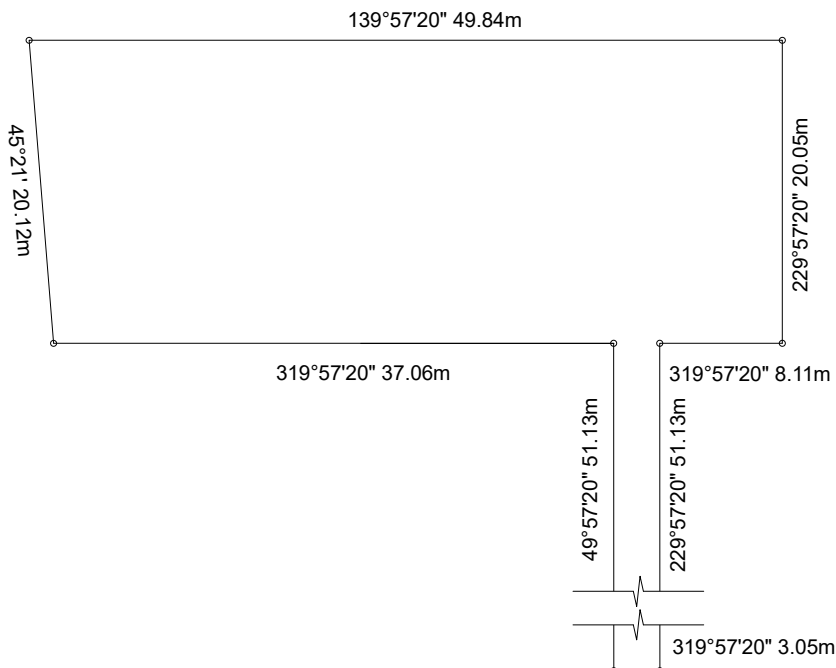
TOTAL PERMEABLE AREA 262.4m² OR 26.8%
(INCLUDES SHARED DRIVEWAY WITHIN NETT SITE AREA - 31.3% PERMEABILITY AVERAGED ACROSS THE 4 LOTS ONLY IF SHARED DRIVEWAY EXCLUDED)

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FROM DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES



9 KINGSLEY STREET, HAMILTON

SITE LOCATION PLAN

1:500

ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH NZS3602
- ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
- ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
- ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
- CHECK ALL DIMENSIONS ON SITE
- CHECK WITH DESIGNER IF IN ANY DOUBT
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DESIGN HOUSE
ARCHITECTURE

KINGSLEY DUPLEX'S

9 KINGSLEY STREET,
HAMILTON

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A101

ISSUED: 12/01/2021

DRAWN BY: JM

TITLE: SITE PLAN

PROJECT STATUS: CONSENT

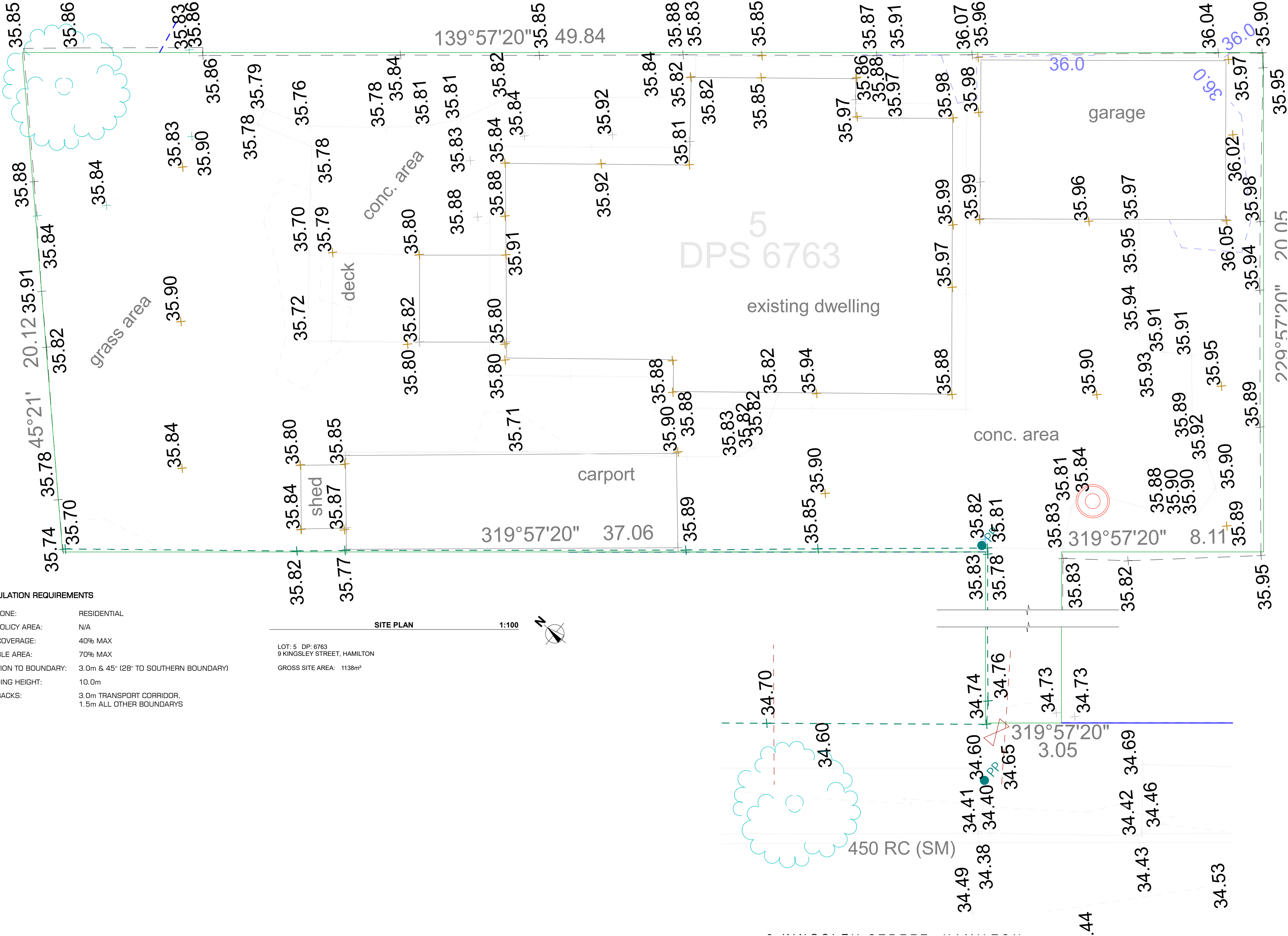
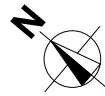
BUILDING REGULATION REQUIREMENTS

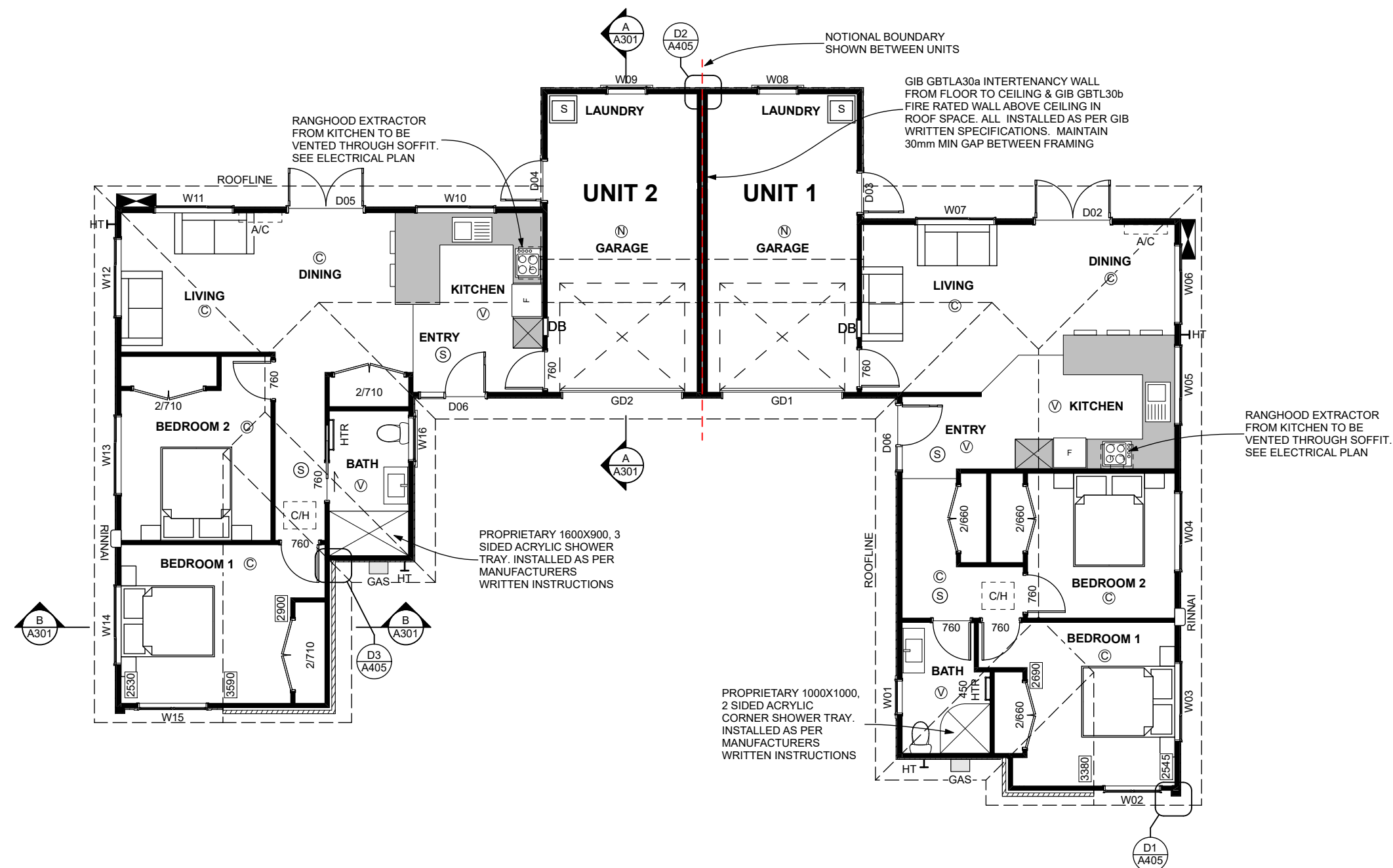
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MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARYS

LOT: 5 DP: 6763
9 KINGSLEY STREET, HAMILTON
GROSS SITE AREA: 1138m²

SITE PLAN

1:100





1:100

UNIT 1 FLOOR AREA	86.5m ²
UNIT 2 FLOOR AREA	85.0m ²
UNIT 3 FLOOR AREA	85.3m ²
UNIT 4 FLOOR AREA	95.8m ²
TOTAL GROSS FLOOR AREA	350.0m ²

LININGS

FLOORING KEY

Ⓟ = SELECTED VINYL PLANK

UTD = HEATED TOWEL RAIL

[- -] = 650X550 CEILING HATCH. ROOF STORAGE TO HAVE
[C/H] UNTREATED 17mm PLYWOOD WITHIN 1m OF OPENING IN
ALL DIRECTIONS. NOGG TO SUIT. ROOF SPACE TO HAVE
LIGHT & SWITCH

SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER TREATMENT

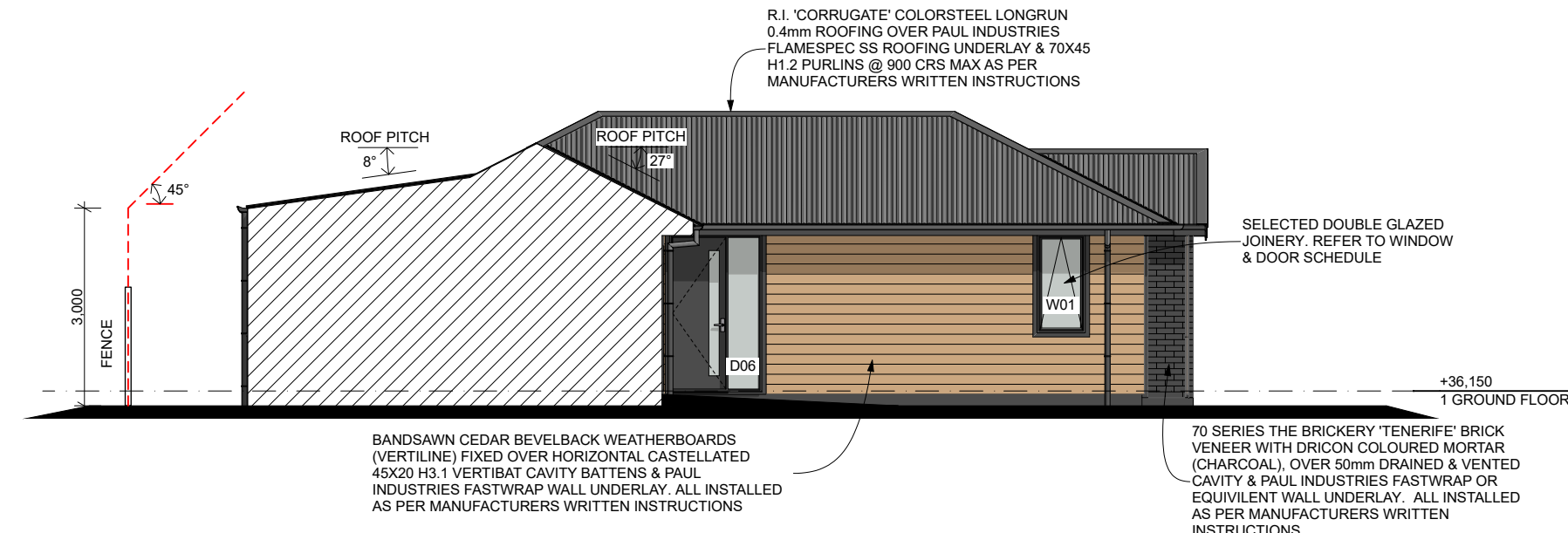


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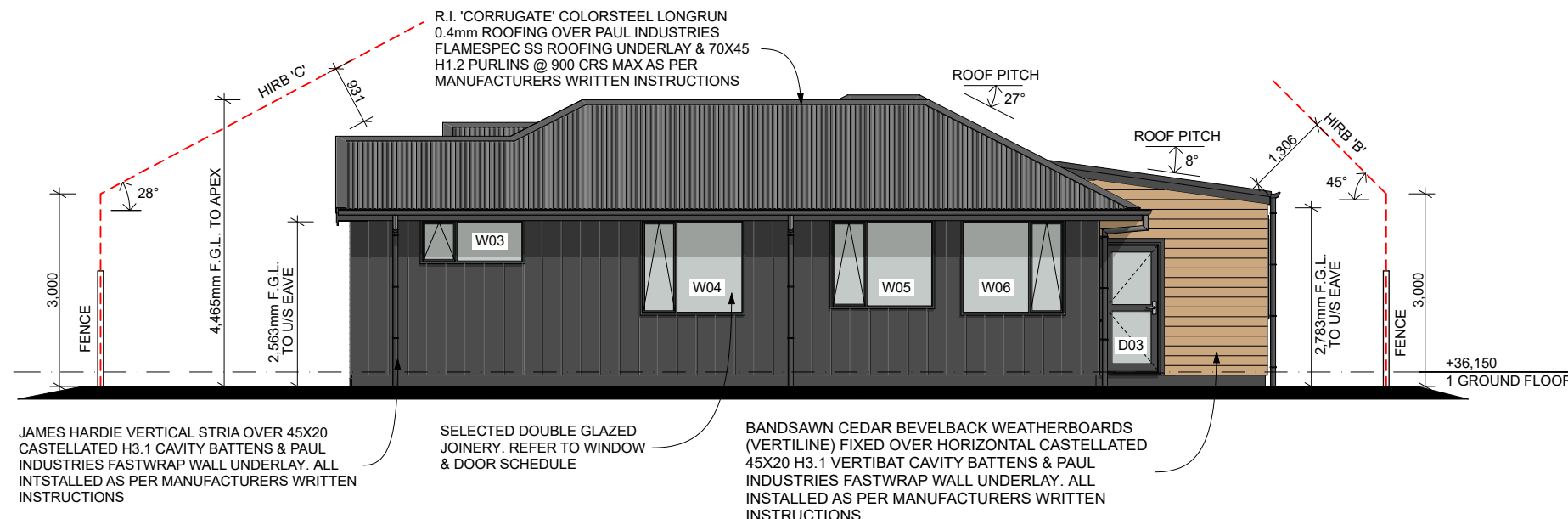
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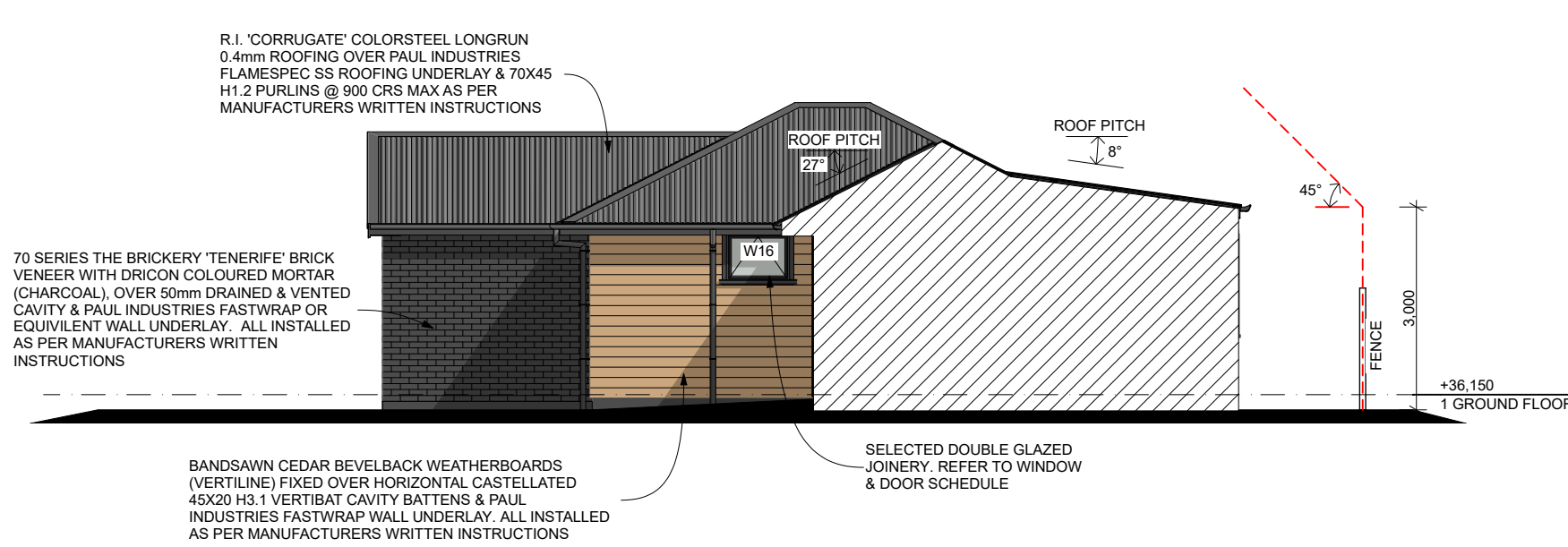
UNITS 1 & 2 NORTH EASTERN ELEVATION 1:100



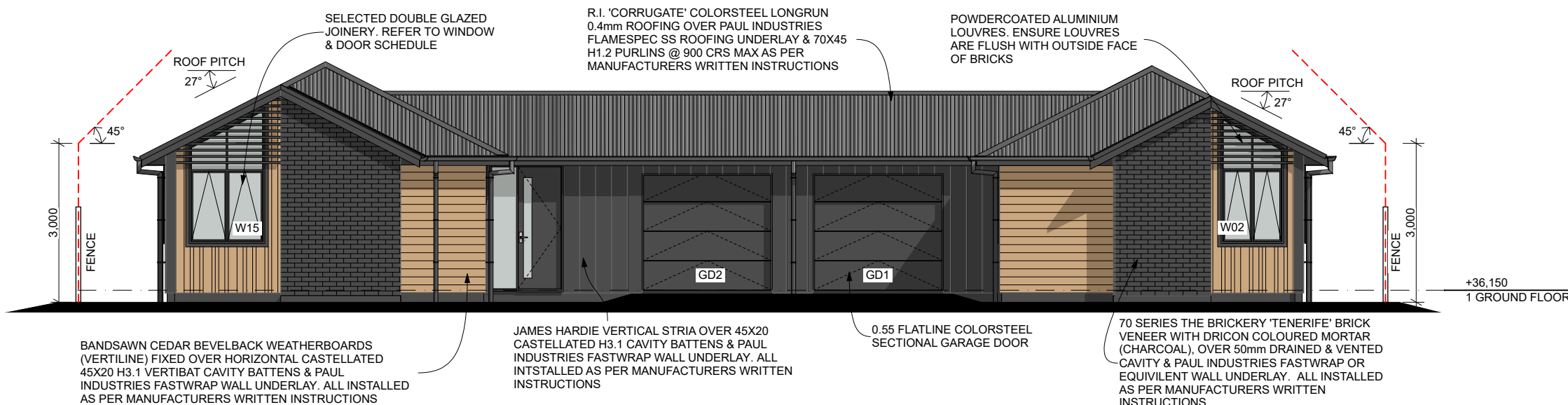
UNIT 1 SOUTH WESTERN ELEVATION 1:100



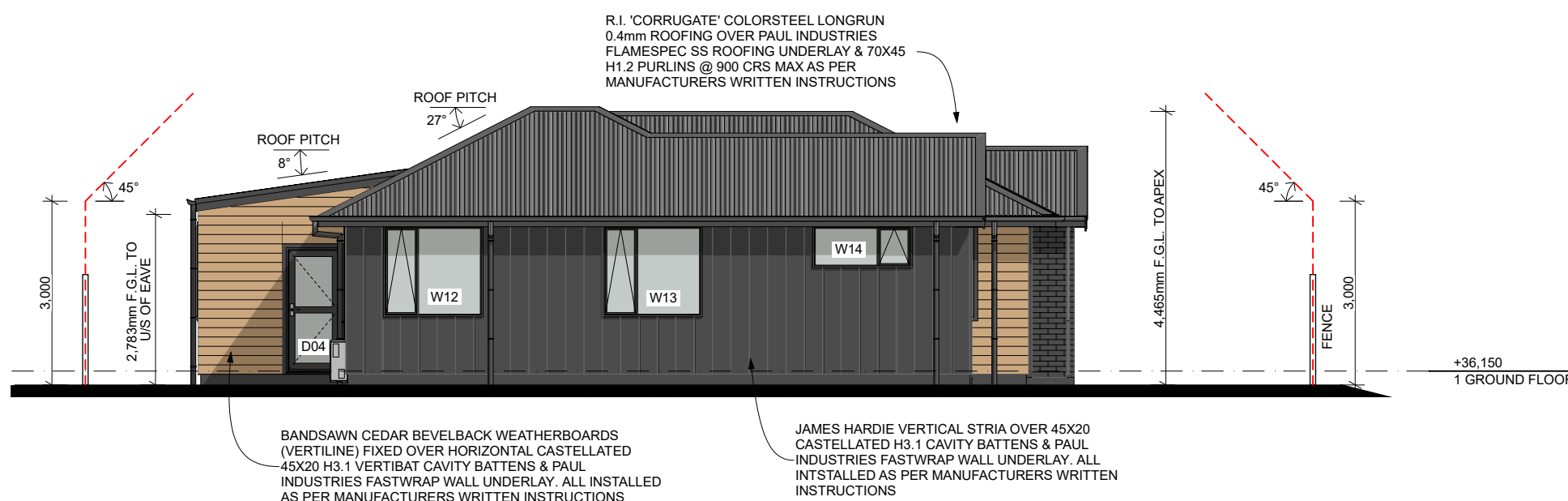
UNITS 1 & 2 SOUTH EASTERN ELEVATION 1:100



UNIT 2 SOUTH EASTERN ELEVATION 1:100



UNITS 1 & 2 SOUTH WESTERN ELEVATION 1:100



UNITS 1 & 2 NORTH WESTERN ELEVATION 1:100

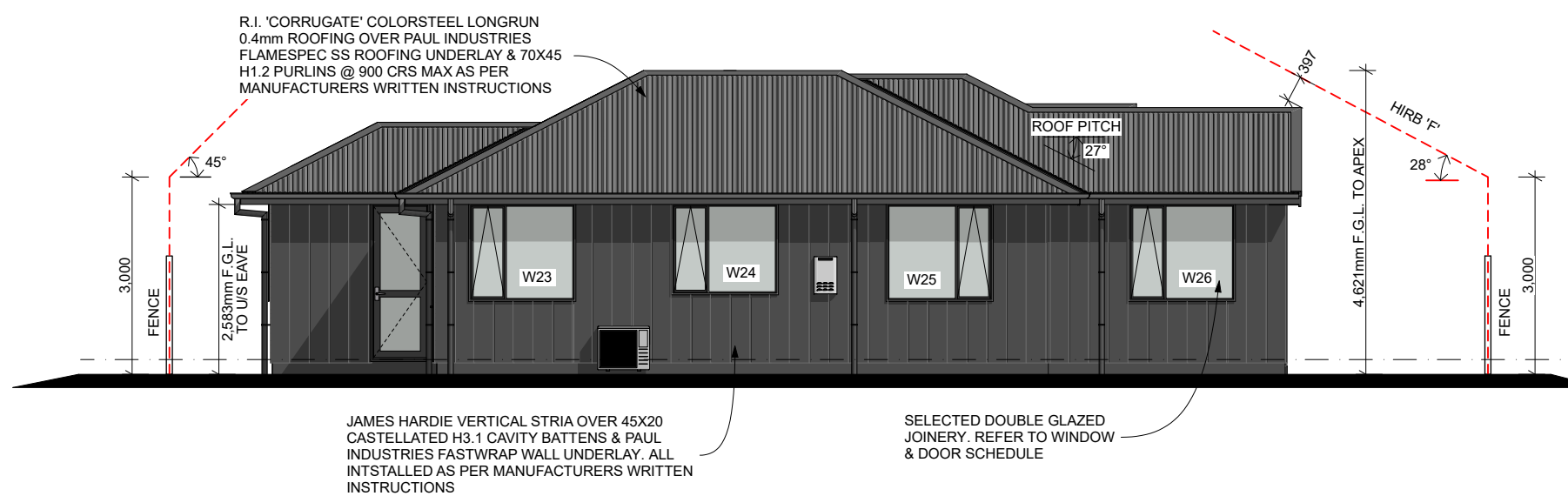
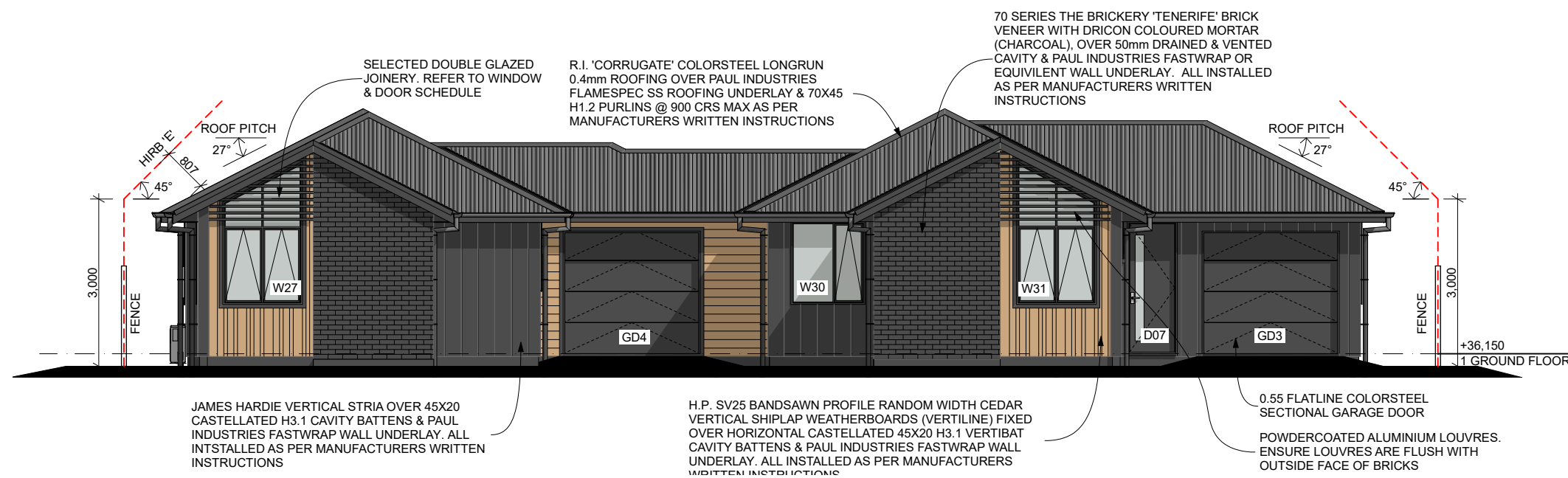
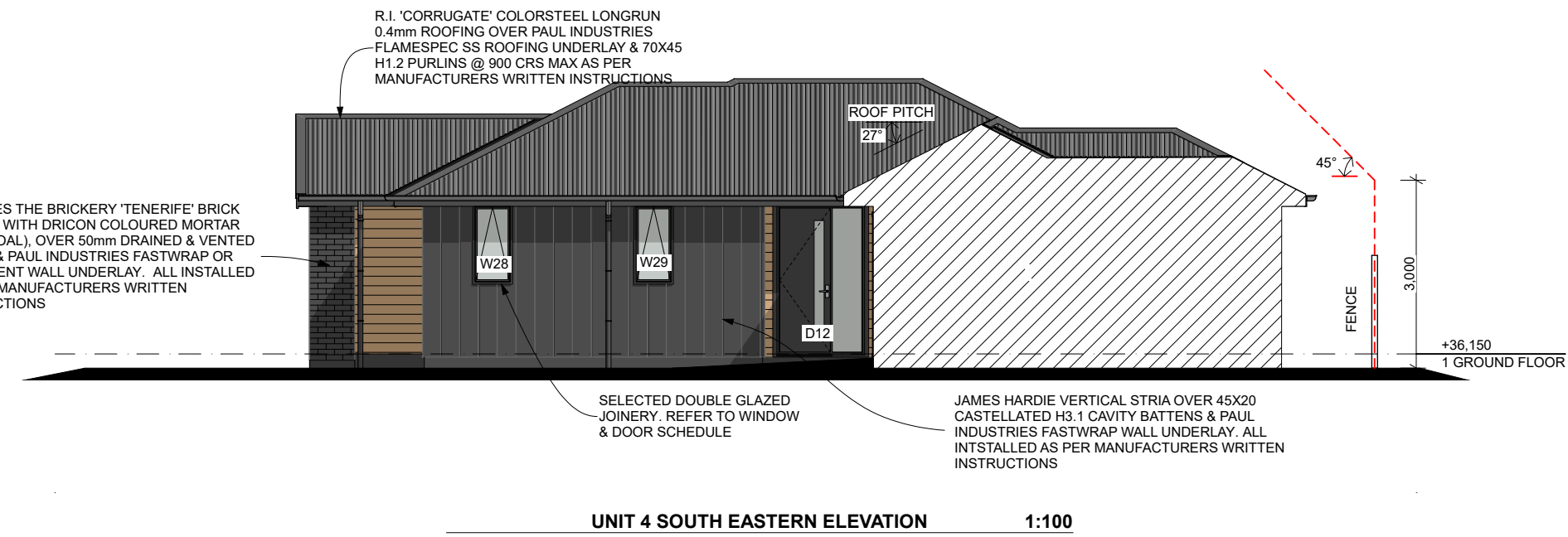
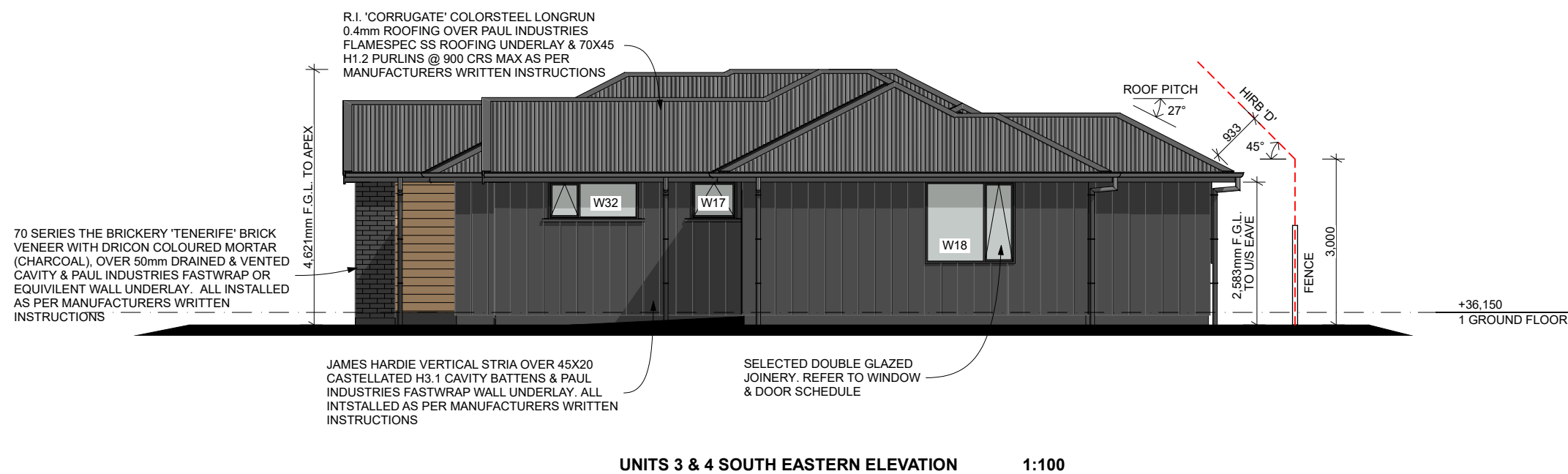
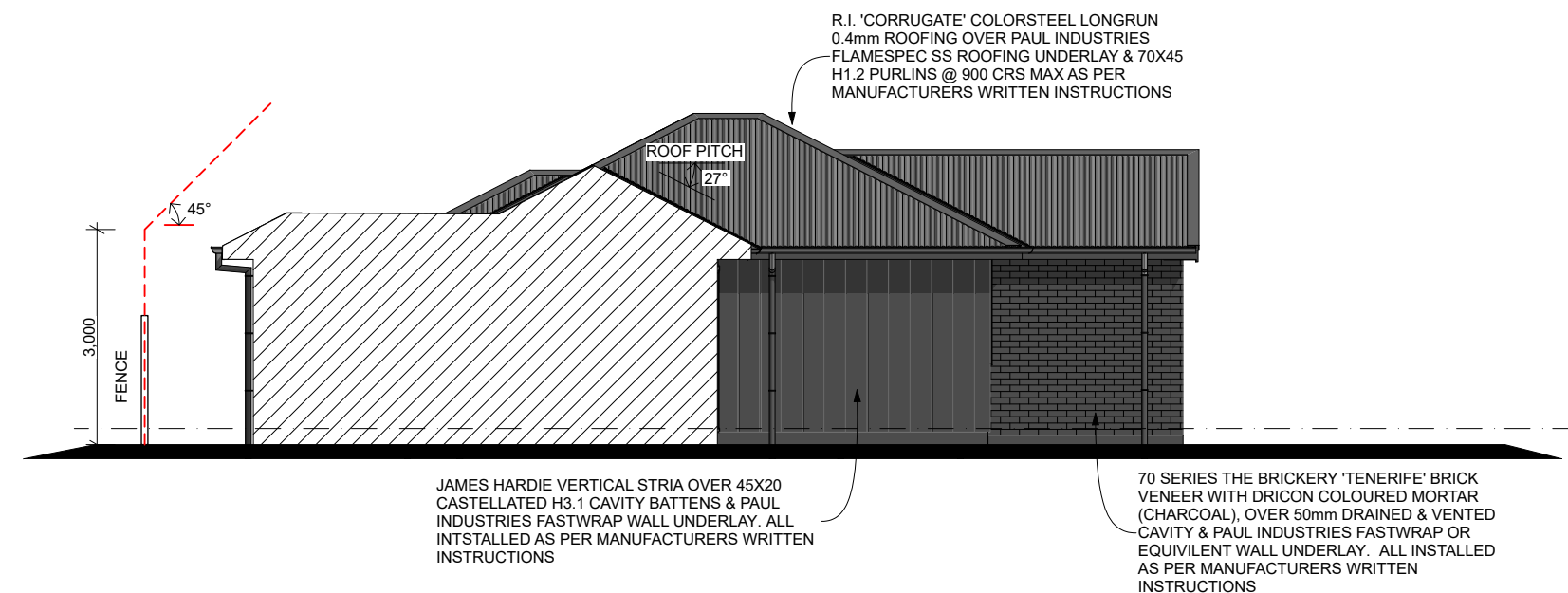
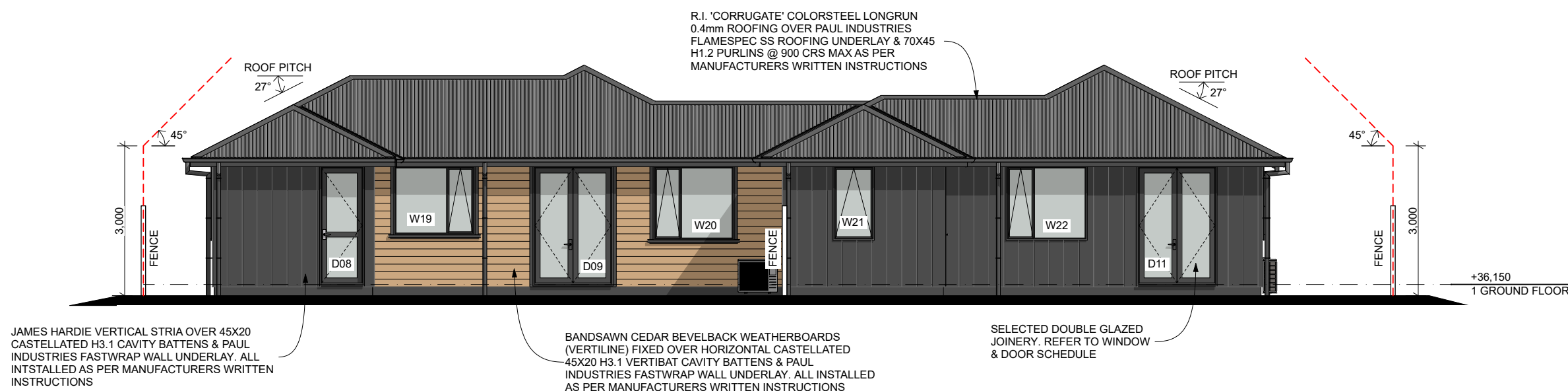
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REV	SHEET	A201	ISSUED:	12/01/2021
			DRAWN BY:	JM
TITLE:			UNIT 1 & 2 ELEVATIONS	
PROJECT STATUS:			CONSENT	



- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
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REV SHEET A202 ISSUED: 12/01/2021

DRAWN BY: JM

TITLE: UNIT 3 & 4 ELEVATIONS

PROJECT STATUS: CONSENT