

GENERAL NOTES

ALL TIMBER TO BE SG8

EXTERNAL WALLS UP TO 2.7m HIGH TO BE  $\underline{90\text{X}45}$  TIMBER FRAMING WITH STUDS @  $\underline{600}$  CRS

EXTERNAL WALLS UP TO 3.0m HIGH TO BE  $\underline{90X45}$  TIMBER FRAMING WITH STUDS @  $\underline{400}$  CRS

EXTERNAL WALLS UP TO 3.6m HIGH TO BE  $\underline{2/90X45}$  TIMBER FRAMING WITH STUDS  $\underline{0}$   $\underline{400}$  CRS

510D5 @ <u>400</u> CR5

EXTERNAL WALLS UP TO 4.0m HIGH TO BE  $\underline{2900X45}$  TIMBER FRAMING WITH STUDS @  $\underline{300}$  CRS

N.B. ALL STUDS SUPPORTING CEDAR CLADDING TO BE @ 400 CRS MAX

ALL NOGGS TO BE @ 800 CRS MAX LESS VERTICAL CEDAR CLAD WALLS TO BE NOGGED @ 480 CRS MAX

FOR STUD SPACINGS GREATER THAN 450mm ALLOW FOR HORIZONTAL POLYPROPYLENE STRAPS @ 300 CRS MAX DRAWN TAUT AS PER E2/AS1

ALL TIMBER FRAMED INTERNAL WALLS TO BE 100X50 TIMBER FRAMING WITH STUDS 0 600 CRS, WITH NOGGS 0 800 CRS MAX

FOR CLARIFICATION OF STUD SIZES SEE DIMENSION PLAN OR CONTACT

ALL INTERNAL DOORS TO BE 2000 HIGH PAINT QUALITY HOLLOW CORE DOORS. ALL INTERNAL DOOR LINTELS TO BE 2/90X45 LESS DOORS OVER 1.0m WIDE TO BE 2/140X45

ALL INTERIOR DOOR HARDWARE FROM THE WINDSOR FUTURA 'APEX' RANGE INCLUDING PRIVACY LATCHES TO WET ROOMS & DOOR STOPS. 200mm HIGH SATIN CHROME RECESSED HANDLES TO ALL INTERNALSLIDING DOORS

SEE ELECTRICAL PLAN FOR MECHANICAL VENTILATION OF WET AREAS

60X10 SQUARE EDGE PINE SKIRTING. 60X10 SQUARE EDGE PINE ARCHITRAVE, SQUARE STOP WALL/CEILING JUNCTION THROUGHOUT FILLED & TAPED IN ACCORDANCE WITH GIB SITE GUIDE & FIRE WALL REQUIREMENTS

WALLS TO BE INSULATED WITH MIN R2.4 WALL BATTS. CEILINGS TO BE INSULATED WITH MIN R3.2 BLANKET INSULATION LESS RAFTERED AREAS TO INSULATED WITH R3.2 SKILLION ROOF INSULATION

SEE SEPARATE WINDOW & DOOR SCHEDULE FROM SHEET A504

CONFIRM SLAB REBATES FOR ALL DOORS FOR LEVEL ENTRY THRESHOLD AS PER FINAL FLOORING SELECTIONS & JOINERY PROFILE, CONFIRM WITH MANUFACTURER

KITCHEN JOINERY UNITS AS PER JOINER

ALLOW TO CONSULT DESIGNER FOR POSITION OF TV AERIAL / SKY DISH ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE. SEE PC SUM IN SPEC

ALLOW FOR SHELF & RAIL TO ALL BEDROOMS. ALLOW FOR 5 EVENLY SPACED PINE 90X25 SLAT SHELVES INCLUDING ADEQUATE SUPPORT TO ALL STORES & CUPBOARDS

1 MACHINE COAT, 1 SITE COAT OF WOOD X PENETRATING WOOD OIL TO ALL CEDAR. COLOUR DAMPER

SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER

## LININGS

UNIT 2 FLOOR AREA

UNIT 3 FLOOR AREA

UNIT 4 FLOOR AREA

TOTAL GROSS FLOOR AREA 350.0m<sup>2</sup>

85.0m<sup>2</sup>

85.3m<sup>2</sup>

95.8m<sup>2</sup>

WALL LININGS TO WET AREAS TO BE 10mm GIB AQUALINE, LEVEL 4 PLASTER FINISH WITH HIGH SHEEN ACRYLIC PAINT SYSTEM

ALL OTHER WALL LININGS TO BE 10mm STANDARD GIB, LEVEL 4 PLASTER FINISH, UNLESS REQUIRED FOR BRACING OR FIRE RATING (REFER BRACING PLAN & FIRE REPORT)

CEILING LININGS TO WET AREAS TO BE 13mm GIB AQUALINE, LEVEL 4 PLASTER FINISH

ALL OTHER CEILING LININGS TO BE 13mm STANDARD GIB, LEVEL 4 PLASTER FINISH

SOFFITS TO BE 4.5mm HARDIEFLEX SOFFIT

FLOORING KEY

© = CARPET OVER SELECTED UNDERLAY

N = GARAGE CARPET COMPLETE WITH RUBBER LOW PROFILE BAR @ GARAGE DOOR TO TERMINATE

DB = DISTRIBUTION BOARD WITH INTEGRATED METERBOX (SMART METER)

S = SMOKE DETECTOR. 10yr PHOTOELECTRIC GS-526 GOLDAIR (OR SIMILAR) - BATTERY OPPERATED

L = HOSE TAP

2490 = HEIGHT TO U/S OF CEILING TO BE 2560 UNLESS OTHERWISE NOTED IN BOX

RINNAI = RINNAI INFINITY A26 INSTANTANEOUS GAS HOT WATER AS PER MANUFACTURERS WRITTEN INSTRUCTIONS. PLUMB TO KITCHEN, BATHROOM, ENSUITE & LAUNDRY. FIT IN RECESSED BOX INTO WALL FRAMING. CONNECT TO STREET SUPPLY

HTR = HEATED TOWEL RAIL

## GENERAL KEY

GAS WITH SUPPLIER PRIOR TO INSTALLATION

= EXTERIOR UNIT FOR INTERNAL HEAT PUMP. ALLOW FOR CONCRETE PAD TO SUIT UNIT

A/C = HEAT PUMP - HIGH WALL MOUNTED MITSUBISHI HEAVY INDUSTRIES HEAT PUMP OR SIMILAR, SIZED AS PER TENANCY SERVICES 'HEALTHY HOMES HEATING REPORT', WITH CONDENSATE DRAIN PLUMBED TO WASTEWATER OR EXTERIOR OF BUILDING ENVELOPE AS MINIMUM

S = ROBINHOOD SUPERTUB ST3101

= GIB GBTLA30a INTERTENANCY WALL FROM FLOOR TO CEILING & GIB GBTL30b FIRE RATED WALL ABOVE CEILING IN ROOF SPACE. ALL INSTALLED AS PER GIB WRITTEN SPECIFICATIONS. MAINTAIN 30mm MIN CAD RETRIFFOR PRAYED.

GBUW30a FIRE RATED WALL SYSTEM INSTALLED
AS PER GIB WRITTEN SPECIFICATIONS. 1 LAYER
OF 16mm GIB FYRELINE ON INSIDE. ENSURE FIRE
RATING CONTINUES TO U/S OF ROOFING

650X550 CEILING HATCH. ROOF STORAGE TO HAVE
UNTREATED 17mm PLYWOOD WITHIN 1m OF OPENING IN
ALL DIRECTIONS. NOGG TO SUIT. ROOF SPACE TO HAVE

C/H = UNTREATED 17mm PLYWOOD WITHIN 1m OF OPENING

LIGHT & SWITCH

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1

- ALL CONSTRUCTION IN ACCORDANCE WITH N.2536U4 &
RELATED NZBC DOCUMENTS INCLUDING E2 AS1
- ALL TIMBER TO COMPLY WITH N.253602
- ALL CONCRETE WORK TO COMPLY WITH N.253109 & N.253124
- ALL MASONRY WORK TO COMPLY WITH N.254210 & N.254229
- ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH

MANUFACTURERS WRITTEN INSTRUCTIONS
- CHECK ALL DIMENSIONS ON SITE
- CHECK WITH DESIGNER IF IN ANY DOUBT
P: 07 849 3074 E: KRIS@DESIGNHOUSE.CO.NZ

DESIGN HOUSE 9 KINGSLE HAMILTON

ARCHITECTURE

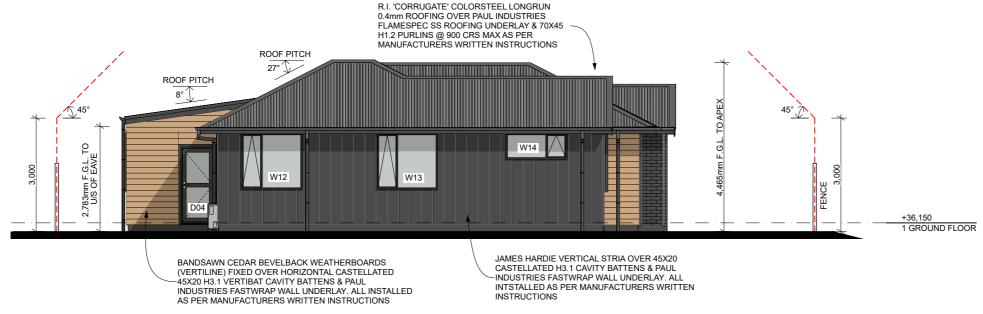
KINGSLEY DUPLEX'S

9 KINGSLEY STREET,

USSUED: 12/01/2021 DRAWN BY: JM

PROJECT STATUS: CONSENT





**UNITS 1 & 2 NORTH WESTERN ELEVATION** 

1:100

- ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 &

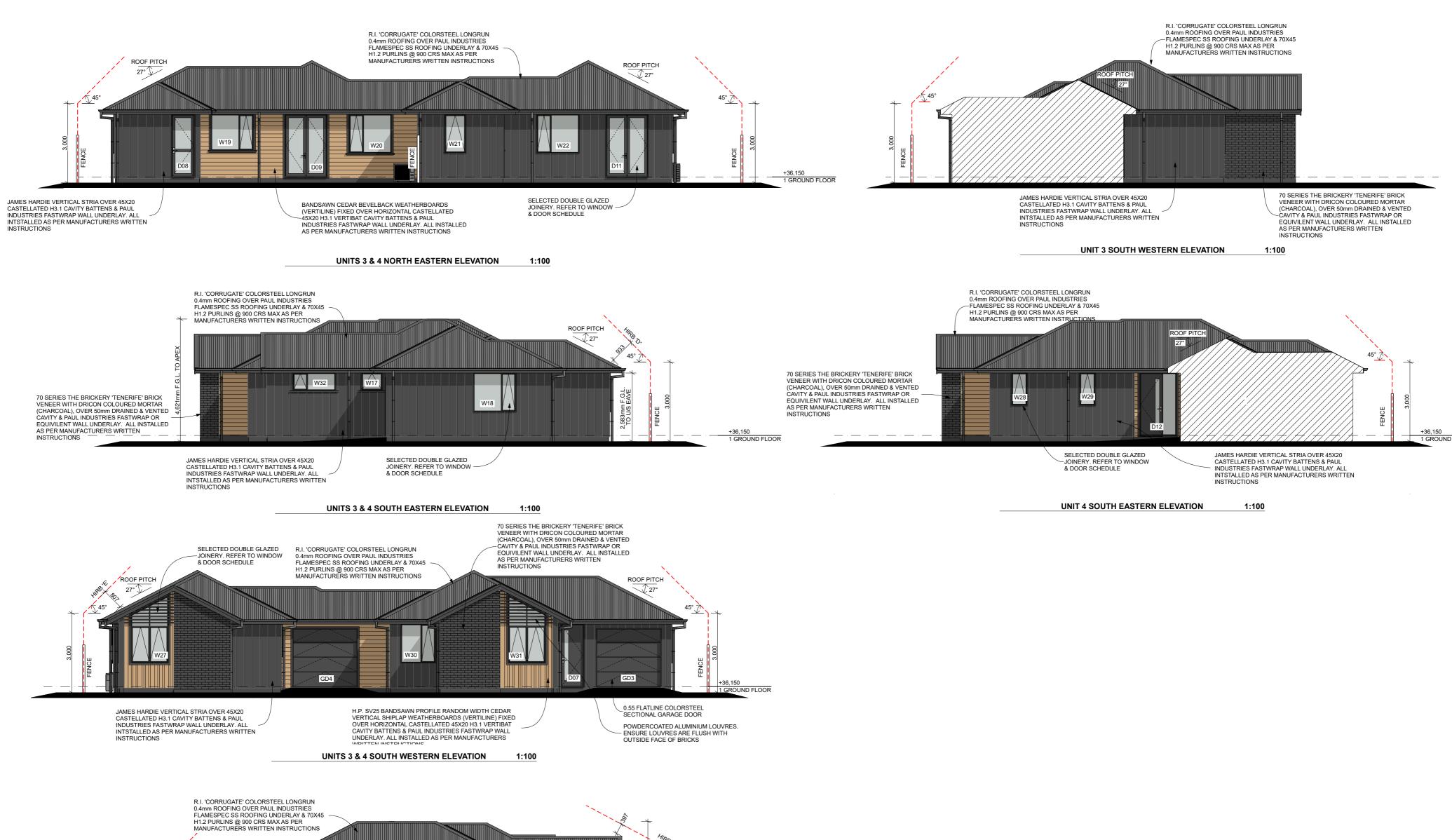
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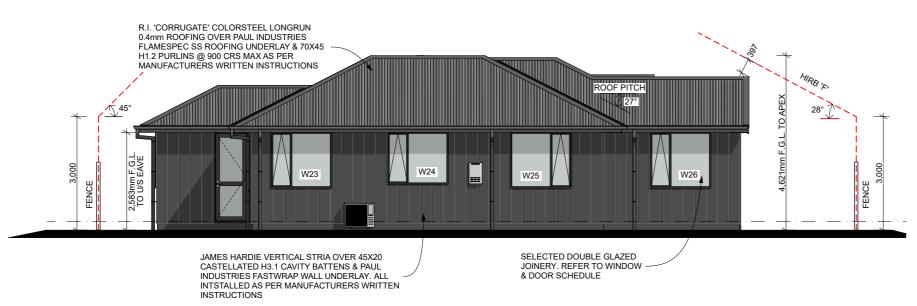
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DESIGN HOUSE HAMILTON ARCHITECTURE

KINGSLEY DUPLEX'S 9 KINGSLEY STREET,

ISSUED: 12/01/2021 DRAWN BY: , JM TITLE: UNIT 1 & 2 ELEVATIONS PROJECT STATUS: CONSENT





**UNITS 3 & 4 NORTH WESTERN ELEVATION** 

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