

UNIT 1		UNIT 3	
FLOOR AREA	85.0m ²	FLOOR AREA	85.0m ²
SITE AREA	200.11m ²	SITE AREA	200.07m ²
SITE COVERAGE	87.16m ² or 43.6%	SITE COVERAGE	87.69m ² or 43.7%
PERMEABLE AREA	60.1m ² OR 30.05%	PERMEABLE AREA	61.7m ² OR 30.8%
FRONT SETBACK AREA	17.6m ²	FRONT SETBACK AREA	43.2m ²
PERMEABLE SETBACK AREA	5.3m ² OR 30.1%	PERMEABLE SETBACK AREA	29.9m ² OR 69.2%

UNIT 2		UNIT 4	
FLOOR AREA	85.0m ²	FLOOR AREA	83.0m ²
SITE AREA	200.05m ²	SITE AREA	203.68m ²
SITE COVERAGE	86.84m ² or 43.4%	SITE COVERAGE	84.59m ² or 41.5%
PERMEABLE AREA	60.1m ² OR 30.05%	PERMEABLE AREA	64.7m ² OR 31.7%
FRONT SETBACK AREA	19.3m ²	FRONT SETBACK AREA	72.5m ²
PERMEABLE SETBACK AREA	5.8m ² OR 30%	PERMEABLE SETBACK AREA	59.4m ² OR 81.9%

GENERAL NOTES

- REFER TO GEOTECH REPORT FOR PREPARATION OF SUBGRADE.
- ALL SETOUT DIMENSIONS FOR DIMENSION PLAN.
- ALL PLUMBING TO COMPLY WITH AS3500 & LOCAL AUTHORITIES.
- ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE.

SITE KEY

- 1.8M HIGH TIMBER FENCE TYPICALLY. 100X100 H4 POSTS & 2m CRS MAX IN 250dia X 800mm DEEP 20MPA CONCRETE FOOTINGS. 100X50 H3.2 RAILS X 3 WITH HDG BATTEN SCREW TO POSTS. 150X25 H3.2 PAULINGS WITH 5mm MAX GAPS.
- POWDERCOATED ALUMINIUM VERTICAL FENCE INSTALLED TO MANUFACTURERS RECOMMENDATIONS. HEIGHT NOTED ON PLANS. TOP MOUNT TO CONCRETE / TIMBER. SEE SPECTRUM DETAIL & PS1 IN SPEC.
- PATHS, PATIOS & A/C CONCRETE PADS (165m² TOTAL). FIRTH MANORFIELD 100mm THICK 20MPA CONCRETE. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10
- DRIVEWAY (67.5m² TOTAL). FIRTH MANORFIELD 125mm THICK 20MPA CONCRETE WITH 665 MESH. ACID WASH & SEAL WITH SOLVENT BORNE SEALER. FORM FALLS AWAY FROM DWELLING & TOWARDS CATCHPIT WHERE APPLICABLE. EXPANSION CUTS @ 4m CRS MAX EACH WAY. FORM ON A 75mm COMPACTED GAP20 ON A COMPACTED SUBGRADE OF CBR>10

- GARDEN AREAS AS INDICATED - NOT PART OF CONTRACT. LEAVE BARE, EXCAVATED 300mm BELOW ADJACENT CONCRETE / LAWN LEVEL
- LAWN OVER 100mm MIN OF TOPSOIL
- GRISELINIA HEDGE
- LIVING COURT
- SERVICE COURT



ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 AS1
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 - ALL CONCRETE WORK TO COMPLY WITH NZS3109 & NZS3124
 - ALL MASONRY WORK TO COMPLY WITH NZS4210 & NZS4229
 - ALL MATERIALS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
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ENGLISH ST DUPLEX'S

2 ENGLISH STREET,
HAMILTON

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LOT: 65 DP: 9939
2 ENGLISH STREET, HAMILTON

GROSS SITE AREA: 805m²

TOTAL SITE COVERAGE 346.28m² or 43%

TOTAL PERMEABLE AREA 246.69m² OR 30.6%

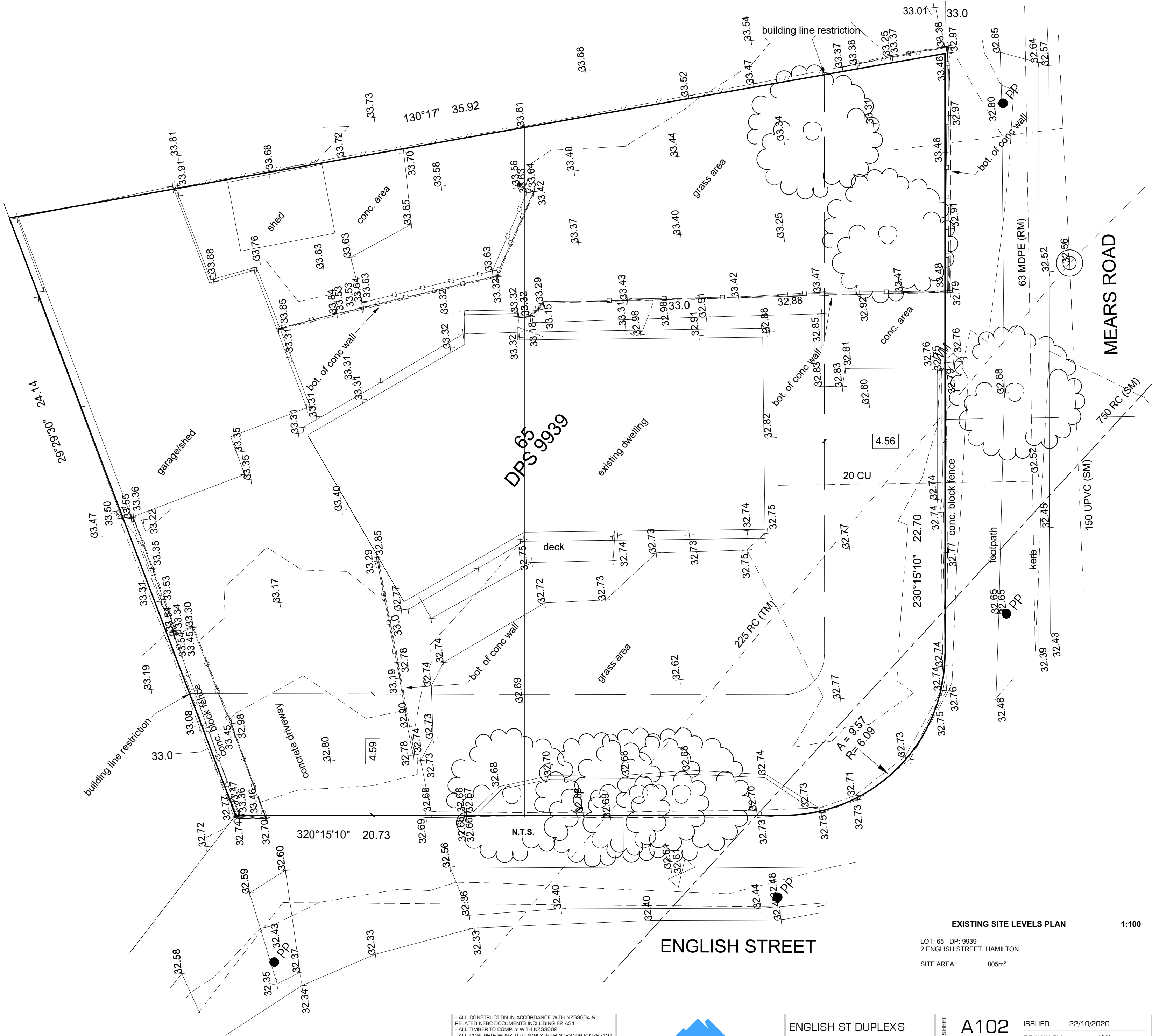
TOTAL FRONT SETBACK AREA 152.6m² TOTAL FRONT SETBACK PERMEABLE AREA 100.4m² OR 65.7%

SHEET
REV
A101
ISSUED: 22/10/2020
DRAWN BY: KW

TITLE: SITE PLAN
PROJECT STATUS: LAND USE CONSENT

BUILDING REGULATION REQUIREMENTS

DISTRICT PLAN ZONE:	RESIDENTIAL
DISTRICT PLAN POLICY AREA:	N/A
MAXIMUM SITE COVERAGE:	40% MAX
SITE IMPERMEABLE AREA:	70% MAX
HEIGHT IN RELATION TO BOUNDARY:	3.0m & 45° (28° TO SOUTHERN BOUNDARY)
MAXIMUM BUILDING HEIGHT:	10.0m
BOUNDARY SETBACKS:	3.0m TRANSPORT CORRIDOR, 1.5m ALL OTHER BOUNDARIES



EXISTING SITE LEVELS PLAN

1:100

LOT: 65 DP: 9939
2 ENGLISH STREET, HAMILTON
SITE AREA: 805m²

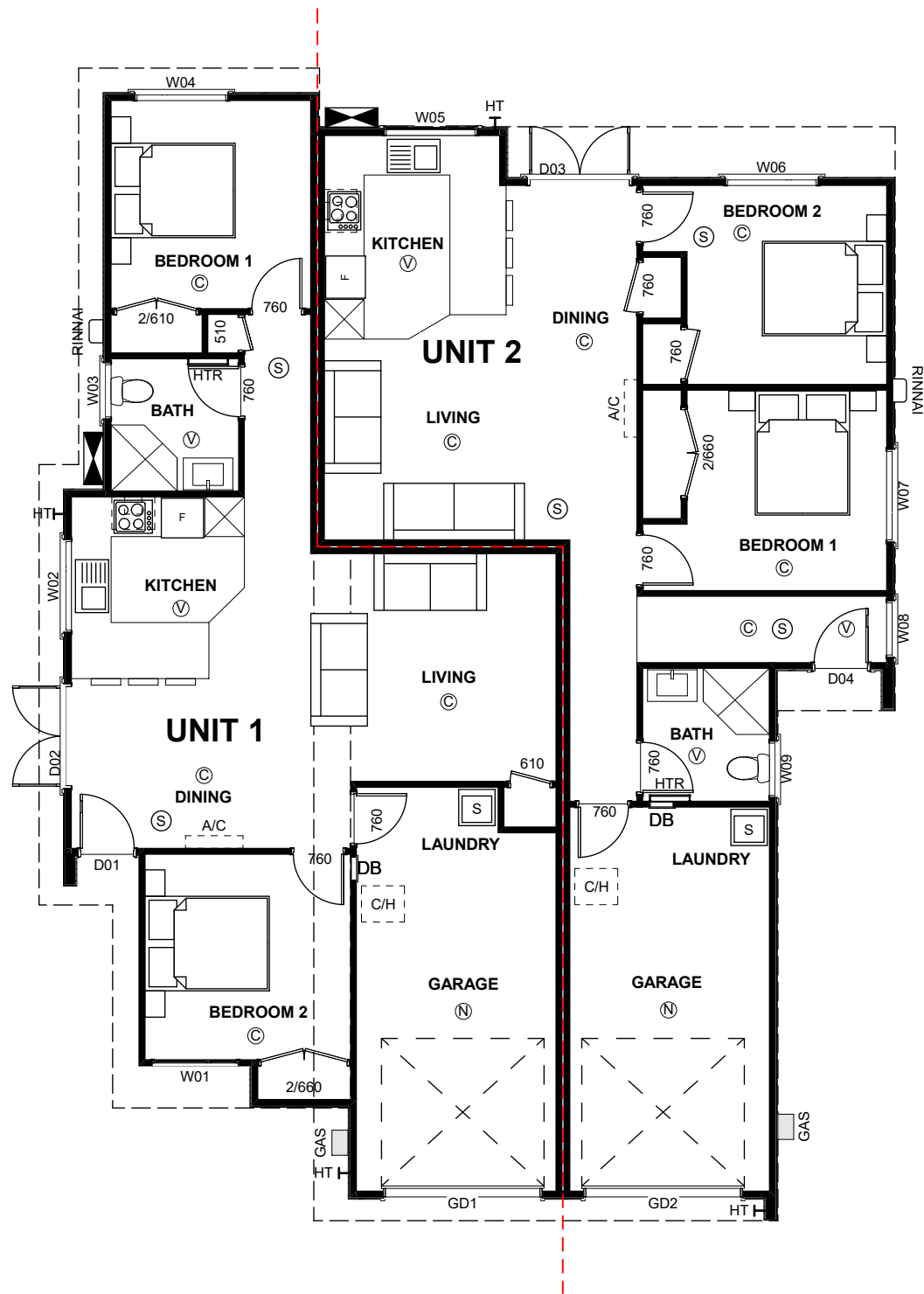
ALL CONSTRUCTION IN ACCORDANCE WITH NZS3604 & RELATED NZBC DOCUMENTS INCLUDING E2 A51
- ALL TIMBER TO COMPLY WITH NZS9002
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ENGLISH ST DUPLEX'S
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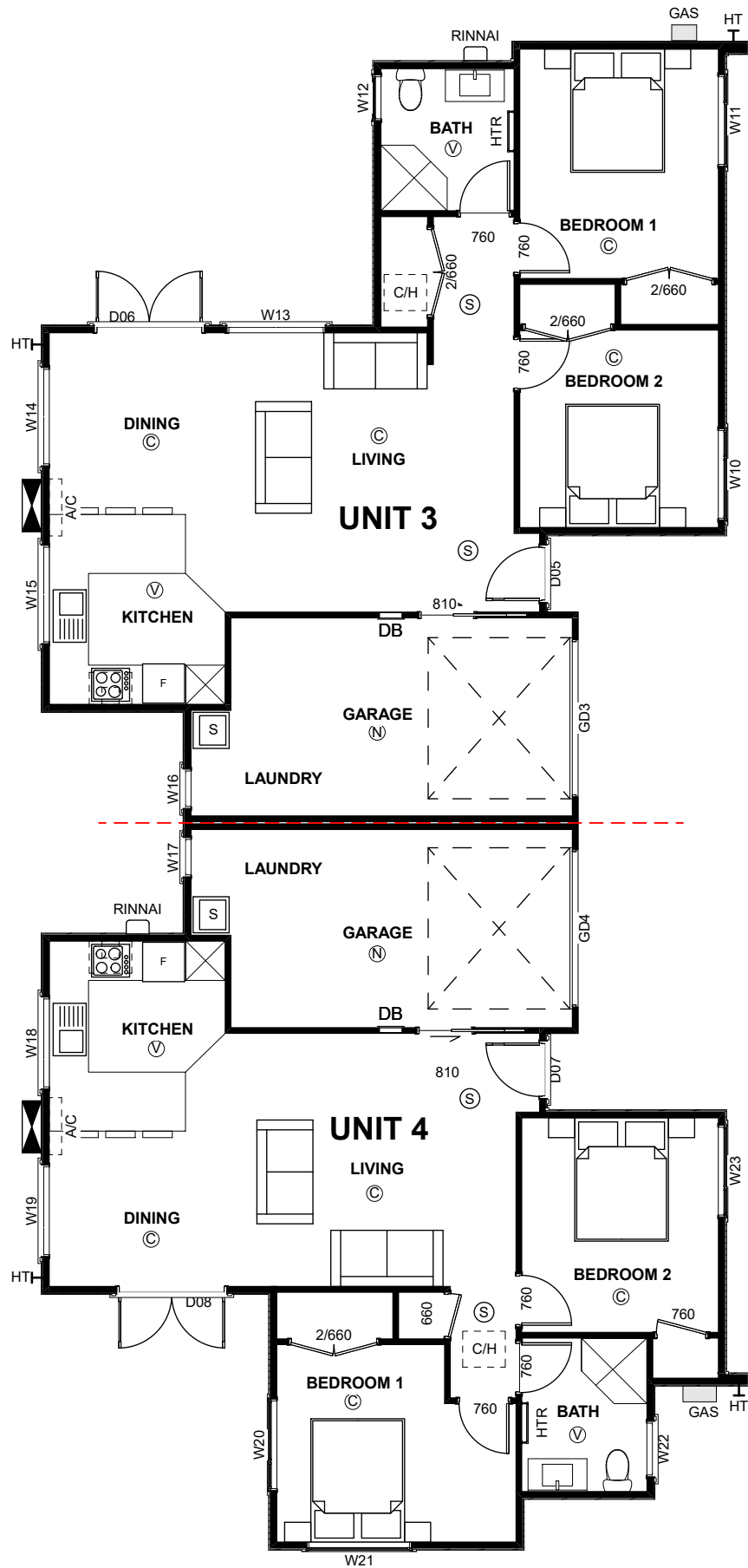
SHEET	A102	ISSUED:	22/10/2020
REV		DRAWN BY:	KW
TITLE:	EXISTING SITE LEVELS PLAN		
PROJECT STATUS:	LAND USE CONSENT		



FLOOR PLAN U1 & U2

1:100

UNIT 1 FLOOR AREA	85.0m²
UNIT 2 FLOOR AREA	85.0m²
UNIT 3 FLOOR AREA	85.0m²
UNIT 4 FLOOR AREA	83.0m²
TOTAL GROSS FLOOR AREA	338.0m²



FLOOR PLAN U3 & U4

1:100

UNIT 1 FLOOR AREA	85.0m²
UNIT 2 FLOOR AREA	85.0m²
UNIT 3 FLOOR AREA	85.0m²
UNIT 4 FLOOR AREA	83.0m²
TOTAL GROSS FLOOR AREA	338.0m²

GENERAL NOTES

ALL TIMBER TO BE SG8

EXTERNAL WALLS UP TO 2.7m HIGH TO BE 90X45 TIMBER FRAMING WITH STUDS @ 600 CRS

N.B. ALL STUDS SUPPORTING BRICK VENEER TO BE @ 400 CRS MAX

ALL NOGGS TO BE @ 800 CRS MAX LESS CEDAR CLAD WALLS TO BE NOGGED @ 480 CRS MAX

FOR STUD SPACINGS GREATER THAN 450mm ALLOW FOR HORIZONTAL POLYPROPYLENE STRAPS @ 300 CRS MAX DRAWN TAUT AS PER E2/AS1

ALL TIMBER FRAMED INTERNAL WALLS TO BE 100X50 TIMBER FRAMING WITH STUDS @ 600 CRS, WITH NOGGS @ 800 CRS MAX

FOR CLARIFICATION OF STUD SIZES SEE DIMENSION PLAN OR CONTACT DESIGNER

ALL INTERNAL DOORS TO BE 2000 HIGH PAINT QUALITY HOLLOW CORE DOORS. ALL INTERNAL DOOR LINTELS TO BE 2/90X45 LESS DOORS OVER 1.0m WIDE TO BE 2/140X45

ALL INTERIOR DOOR HARDWARE FROM THE WINDSOR FUTURA 'APEX' RANGE INCLUDING PRIVACY LATCHES TO WET ROOMS & DOOR STOPS. 200mm HIGH SATIN CHROME RECESSED HANDLES TO ALL INTERNALSLIDING DOORS

SEE ELECTRICAL PLAN FOR MECHANICAL VENTILATION OF WET AREAS

60X10 SQUARE EDGE PINE SKIRTING. 60X10 SQUARE EDGE PINE ARCHITRAVE, SQUARE STOP WALL/CEILING JUNCTION THROUGHOUT, FILLED & TAPED IN ACCORDANCE WITH GIB SITE GUIDE & FIRE WALL REQUIREMENTS

WALLS TO BE INSULATED WITH MIN R2.4 WALL BATTS. CEILINGS TO BE INSULATED WITH MIN R3.2 BLANKET INSULATION LESS RAFTERED AREAS TO INSULATED WITH R3.2 SKILLION ROOF INSULATION

SEE SEPARATE WINDOW & DOOR SCHEDULE FROM SHEET A504

CONFIRM SLAB REBATES FOR ALL DOORS FOR LEVEL ENTRY THRESHOLD AS PER FINAL FLOORING SELECTIONS & JOINERY PROFILE. CONFIRM WITH MANUFACTURER

KITCHEN JOINERY UNITS AS PER JOINER. SEE PC SUM IN SPEC

ALLOW TO CONSULT DESIGNER FOR POSITION OF TV AERIAL / SKY DISH

ALL PLUMBING FITTINGS TO BE WATER SAVING TYPE. SEE PC SUM IN SPEC

ALLOW FOR SHELF & RAIL TO ALL BEDROOMS. ALLOW FOR 5 EVENLY SPACED PINE 90X25 SLAT SHELVES INCLUDING ADEQUATE SUPPORT TO ALL STORES & CUPBOARDS

1 MACHINE COAT, 1 SITE COAT OF WOOD X PENETRATING WOOD OIL TO ALL CEDAR. COLOUR TBC

SEE A501 FOR H1 COMPLIANCE, RISK MATRIX, FIXING SCHEDULE & TIMBER TREATMENT

LININGS

WALL LININGS TO WET AREAS TO BE 10mm GIB AQUALINE, LEVEL 4 PLASTER FINISH WITH HIGH SHEEN ACRYLIC PAINT SYSTEM

ALL OTHER WALL LININGS TO BE 10mm STANDARD GIB, LEVEL 4 PLASTER FINISH, UNLESS REQUIRED FOR BRACING OR FIRE RATING (REFER BRACING PLAN & FIRE REPORT)

CEILING LININGS TO WET AREAS TO BE 13mm GIB AQUALINE, LEVEL 4 PLASTER FINISH

ALL OTHER CEILING LININGS TO BE 13mm STANDARD GIB, LEVEL 4 PLASTER FINISH

SOFFITS TO BE 4.5mm HARDIES SOFFIT LINING WITH UPVC JOINTERS

FLOORING KEY

- © = CARPET OVER SELECTED UNDERLAY. SEE FLOORING PC SUMS IN SPEC
- Ⓝ = GARAGE CARPET COMPLETE WITH RUBBER LOW PROFILE BAR @ GARAGE DOOR TO TERMINATE
- Ⓥ = SELECTED VINYL PLANK. SEE FLOORING PC SUMS IN SPEC

- DB = DISTRIBUTION BOARD WITH INTEGRATED METERBOX (SMART METER)
- Ⓢ = SMOKE DETECTOR CAVIUS BRAND, BATTERY OPERATED
- HT = HOSE TAP
- 2410 = HEIGHT TO U/S OF CEILING TO BE 2560 UNLESS OTHERWISE NOTED IN BOX
- RINNAI = RINNAI INFINITY A26 INSTANTANEOUS GAS HOT WATER AS PER MANUFACTURERS WRITTEN INSTRUCTIONS PLUMB TO KITCHEN, BATHROOM, ENSUITE & LAUNDRY. FIT IN RECESSED BOX INTO WALL FRAMING. CONNECT TO STREET SUPPLY
- HTR = HEATED TOWEL RAIL ON TIMER
- GAS = GAS METER. ALLOW TO CONFIRM LOCATION WITH SUPPLIER PRIOR TO INSTALLATION

GENERAL KEY

- = EXTERIOR UNIT FOR INTERNAL HEAT PUMP. ALLOW FOR CONCRETE PAD TO SUIT UNIT
- A/C = HIGH WALL MOUNTED 6kW (HEATING) HEAT PUMP (FUJITSU, PANASONIC OR DAIKEN) WITH CONDENSATE DRAINS PLUMBED TO WASTEWATER OR EXTERIOR OF BUILDING ENVELOPE AS MINIMUM
- = ROBINHOOD SUPERTUB ST3101
- = 650X550 CEILING HATCH
- = GIB GBTLA30a INTERTENANCY WALL FROM FLOOR TO CEILING & GIB GBTL30b FIRE RATED WALL ABOVE CEILING IN ROOF SPACE. ALL INSTALLED AS PER GIB WRITTEN SPECIFICATIONS. MAINTAIN 30mm MIN GAP BETWEEN FRAMING

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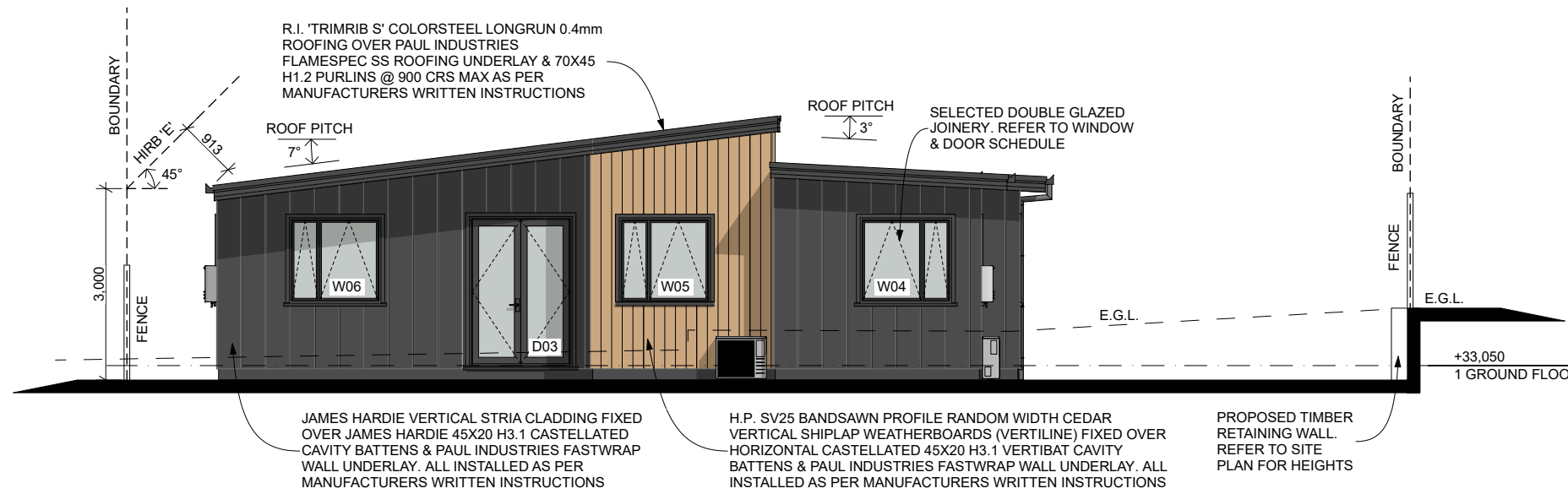
REV / SHEET
A104

ISSUED: 22/10/2020

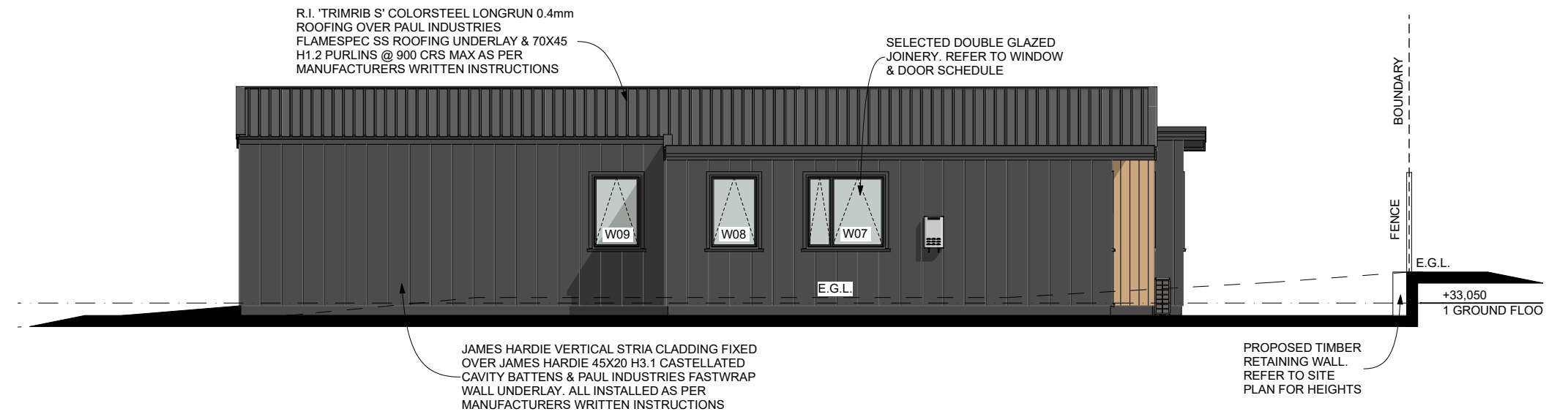
DRAWN BY: KW

TITLE: FLOOR PLANS

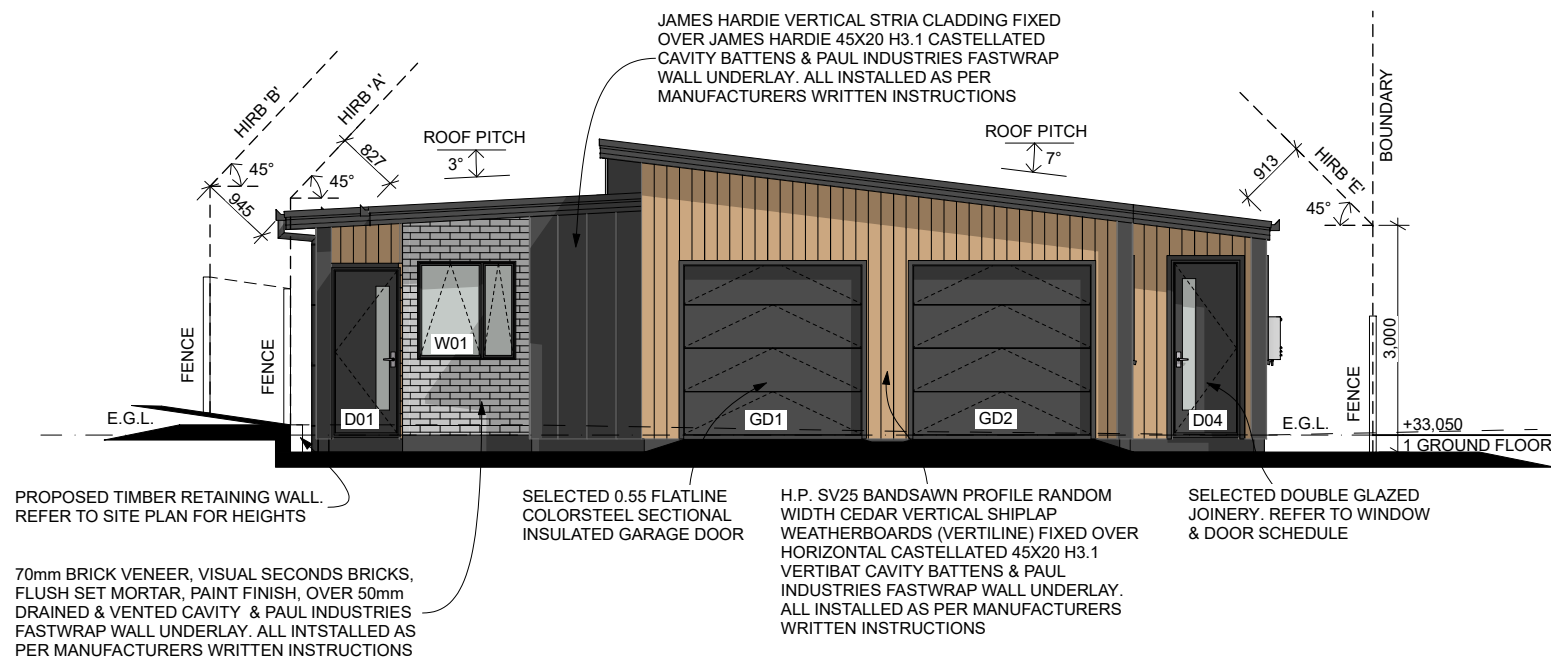
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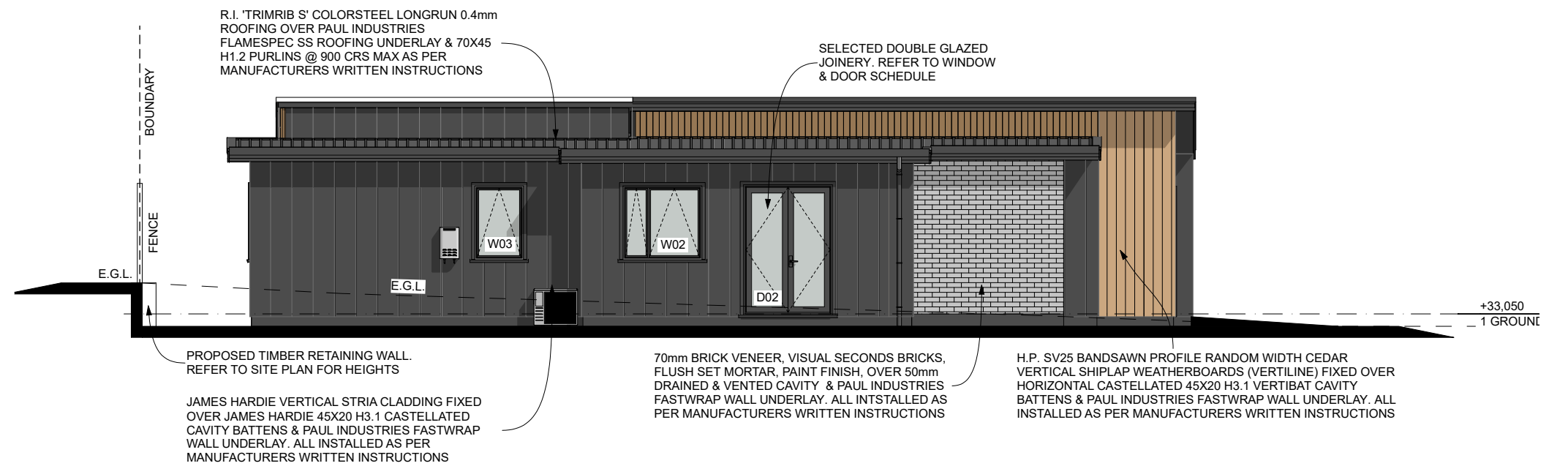
UNITS 1 & 2 NORTH EAST ELEVATIONS 1:100



UNITS 1 & 2 SOUTH EAST ELEVATIONS 1:100



UNITS 1 & 2 SOUTH WEST ELEVATIONS 1:100



UNITS 1 & 2 SOUTH WEST ELEVATIONS 1:100

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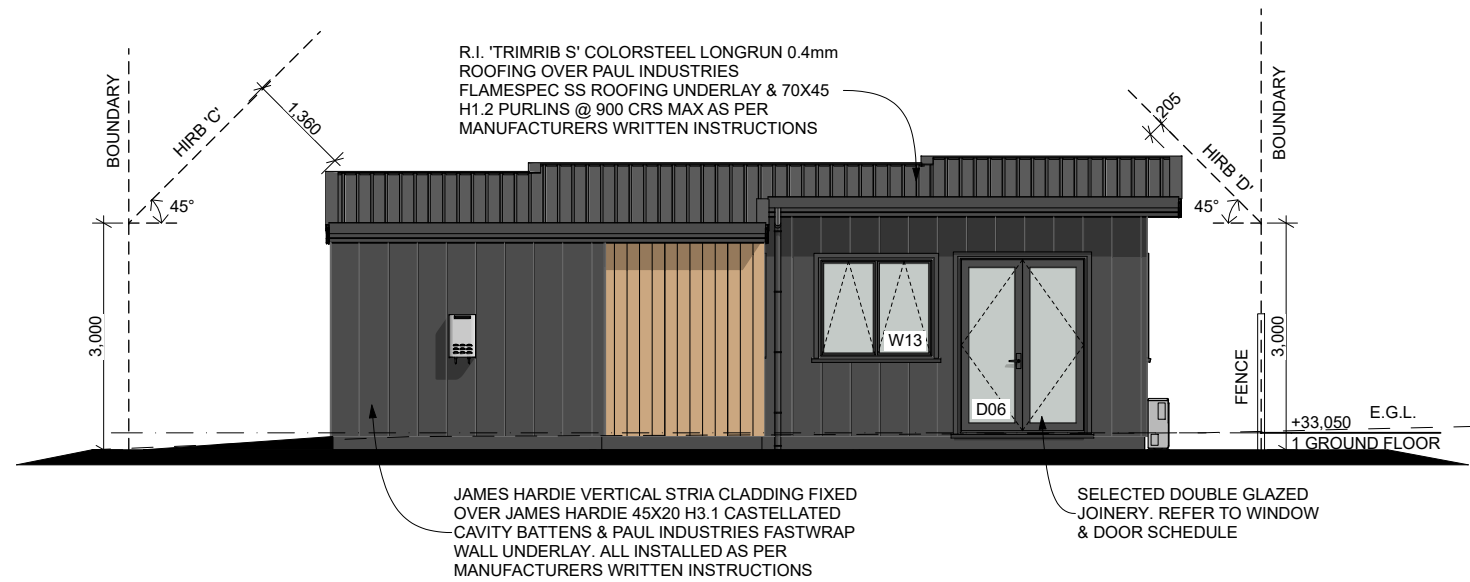
REV SHEET
A201

ISSUED: 22/10/2020

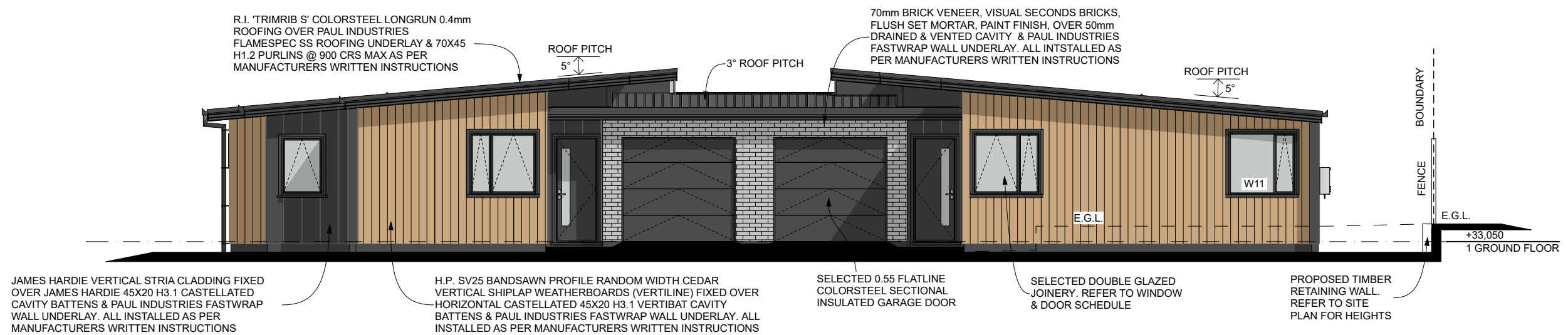
DRAWN BY: KW

TITLE: UNIT 1 & 2 ELEVATIONS

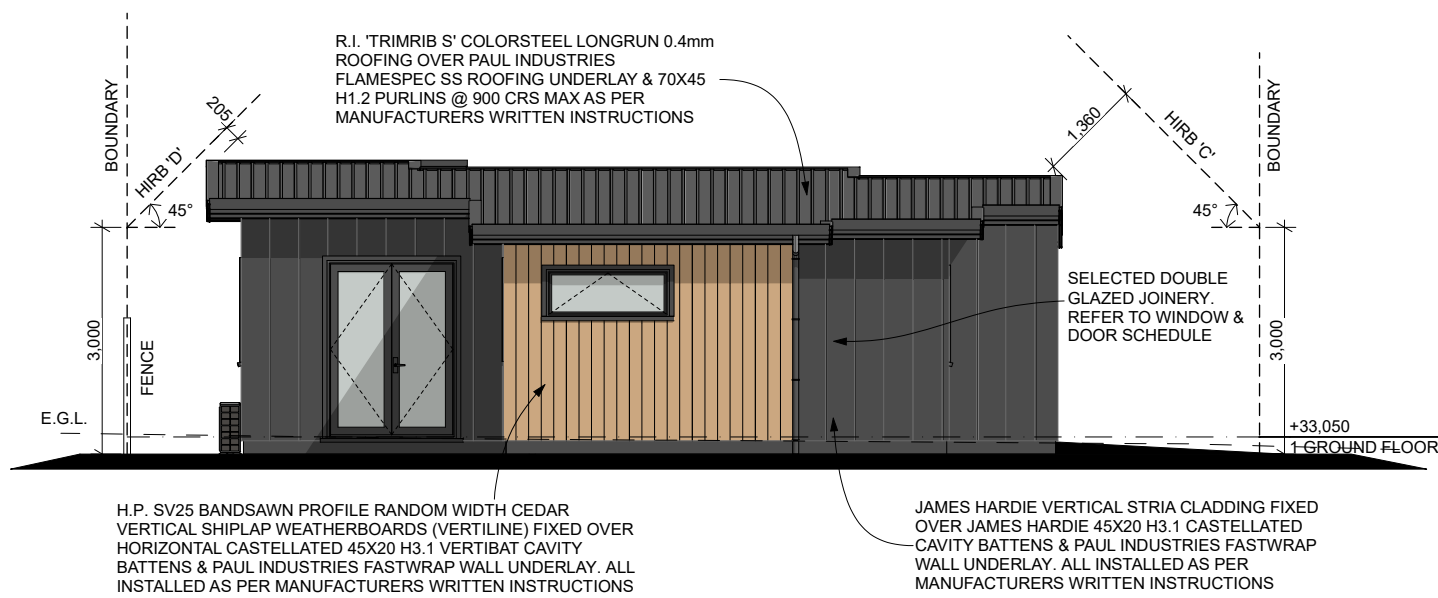
PROJECT STATUS: LAND USE CONSENT



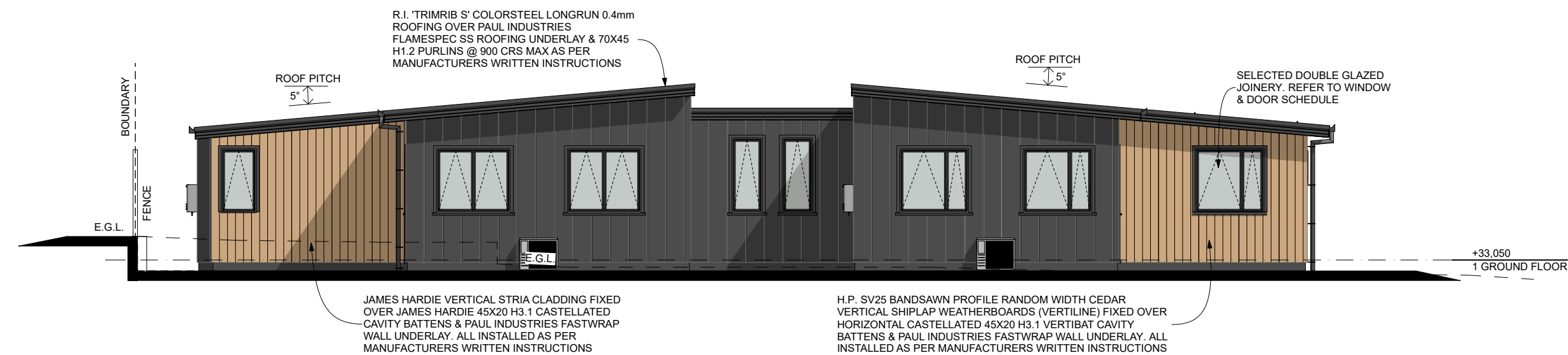
UNITS 3 & 4 NORTH EAST ELEVATIONS 1:100



UNITS 3 & 4 SOUTH EAST ELEVATIONS 1:100



UNITS 3 & 4 SOUTH WEST ELEVATIONS 1:100



UNITS 3 & 4 NORTH WEST ELEVATIONS 1:100

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			DRAWN BY:	KW
TITLE:			UNIT 3 & 4 ELEVATIONS	
PROJECT STATUS:			LAND USE CONSENT	